

Planning Sub Committee - 6 March 2023

UPDATE FOR CONSIDERATION AT PLANNING SUB-COMMITTEE Item No.9

Reference No: HGY/2021/1909	Ward: Hornsey
Address: Cross House 7 Cross Lane N8 7SA	
The proposal description is amended (in bold) to correct the number of car parking space proposed as follows	
Proposal: Demolition of existing building; redevelopment to provide business (Class E(g)(iii)(light industrial) use at the ground, first and second floors, residential (Class C3) use on the upper floors, within a building of six storeys plus basement, provision of 6 car parking spaces and refuse storage.	

To note: the numbering as set out in this addendum corresponds with the numbering of each section within the Officers committee report

REPORT AMENDMENTS

The description of development above is corrected to state 6 rather than 7 parking spaces are proposed as set out in the body of the report.

2. RECOMMENDATION

Paragraph 2.3 is amended (in bold) to correct the S106 completion date as follows

That the agreement referred to in resolution (2.1) above is to be completed no later than **06/05/2023** within such extended time as the Head of Development Management or the Assistant Director Planning, Building Standards & Sustainability shall in his sole discretion allow; and

5. LOCAL REPRESENTATIONS

1 further objection has been received which have raised a number of points. Many of these points have already been considered in the officers report the additional points are addressed below. The additional points raised are as follows:

- Disruption from the car park entrance to local residents
- The first floor terrace is not set back or screened like Granita Courts terrace
- Noise and disturbance from the first floor terrace in a residential area
- Concerns the commercial units will have balconies
- Access to the terrace of the commercial property should be restricted
- The terrace should be redesigned

6. MATERIAL PLANNING CONSIDERATIONS

Clarification Points

'Principle of the development'

Paragraph 6.2.19 is amended (in bold) to correct the sentence as follows

Whilst Policy DM38 requires affordable workspace where viable, **in this instance given the scale of the proposed development affordable workspace provision is not required.** The Smithfield Yard development **however** which falls within the same site allocation and provides a greater quantity of housing provides affordable workspace.

Residential Quality

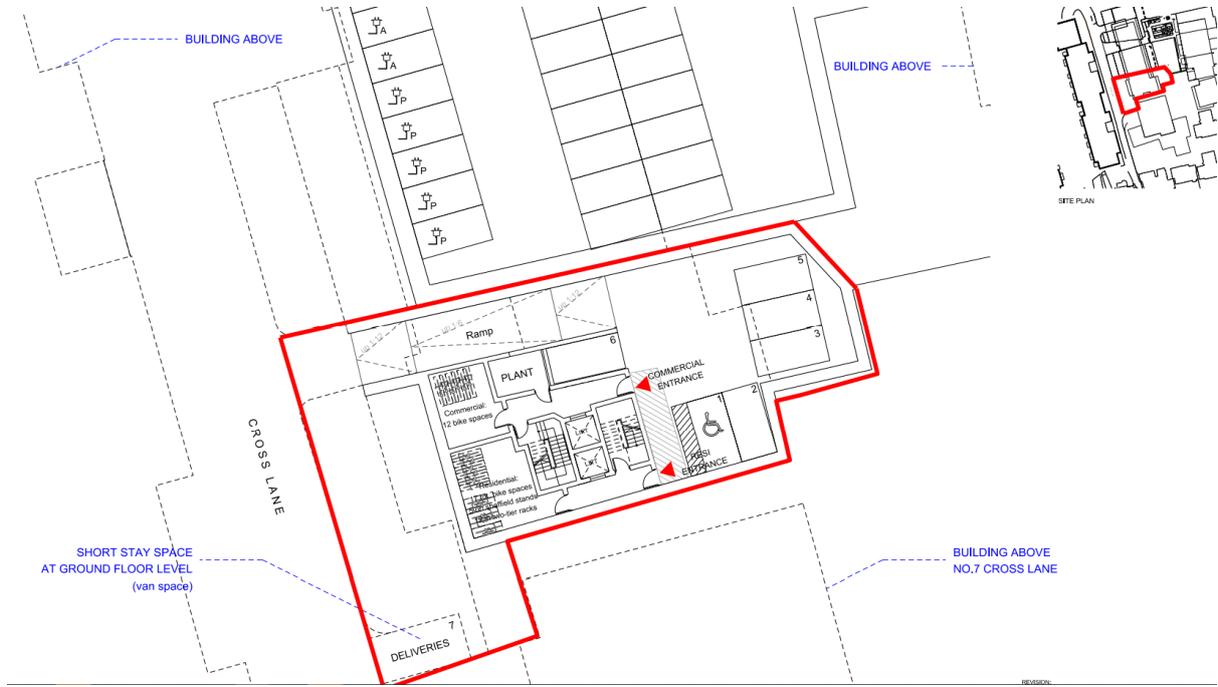
Paragraph 6.5.3 is amended (in bold) to correct the aspect of the flats proposed as follows

The flats which are single aspect are either east or west facing. **There are no north facing single aspect flats proposed**

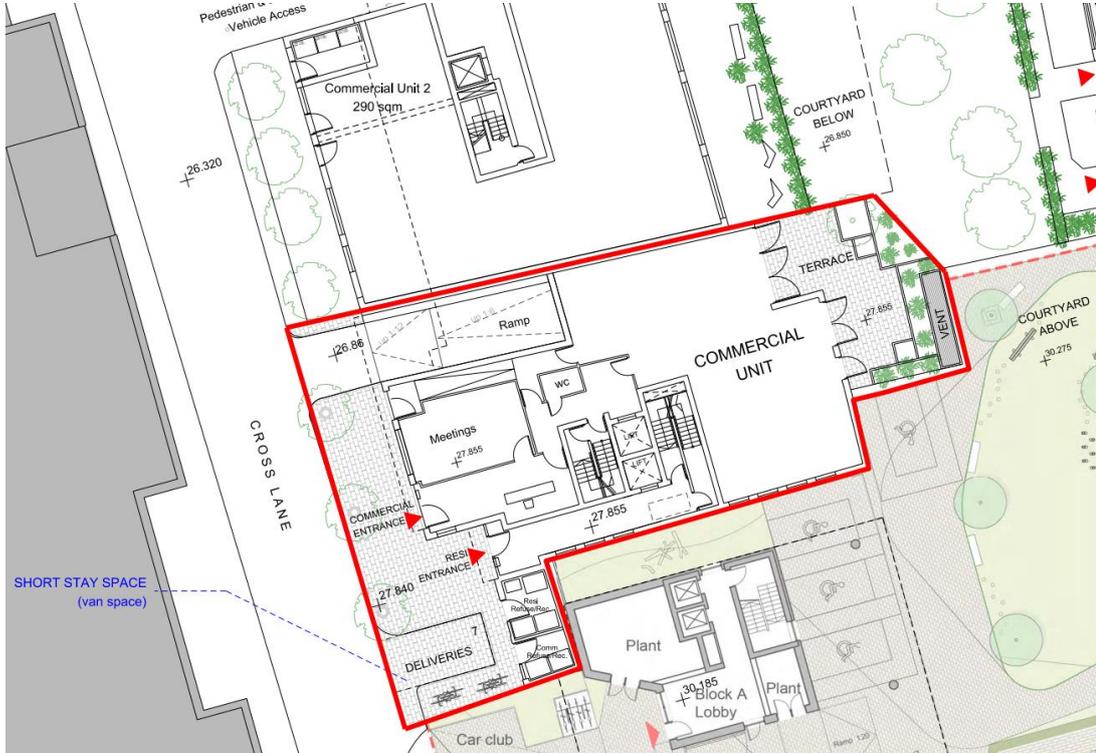
Appendix 2: Plans and Images

Appendix 2 is amended to include floor plans

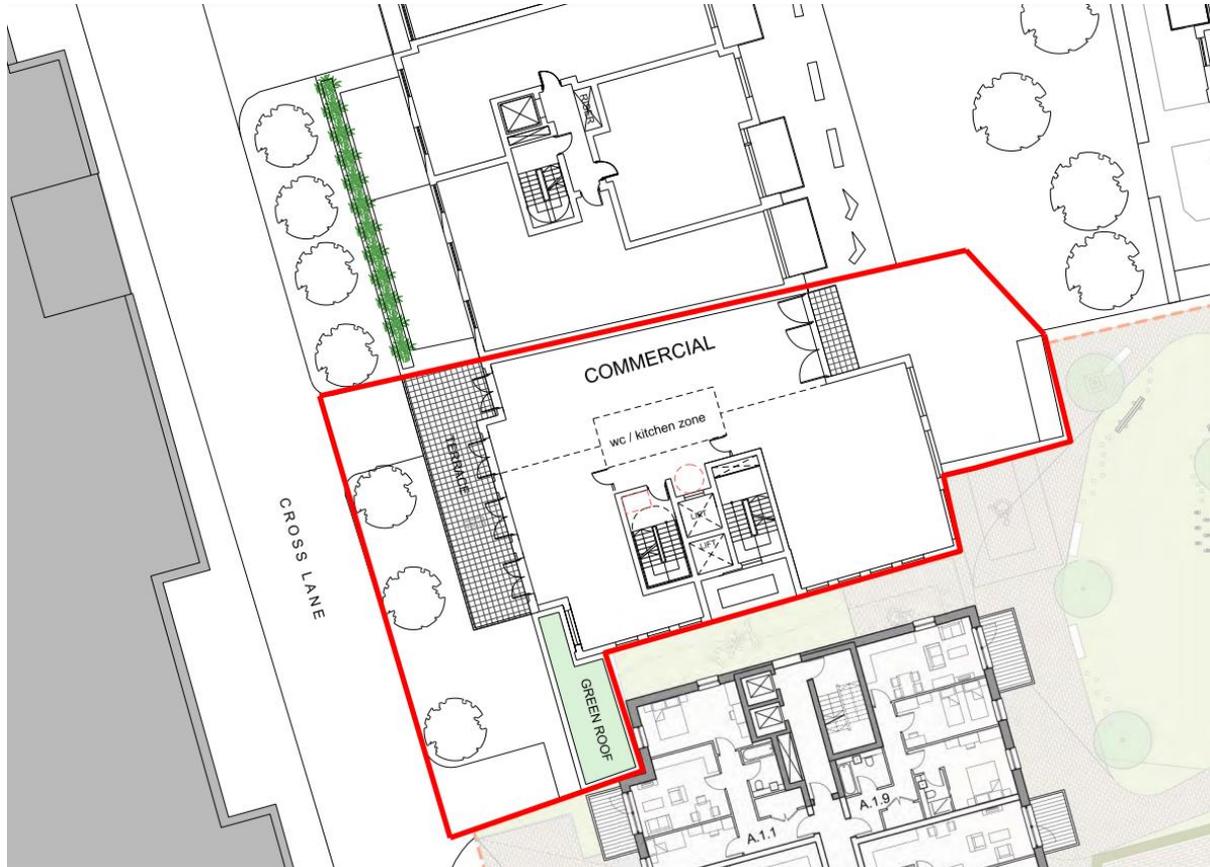
Proposed lower ground floor plan



Proposed ground floor plan

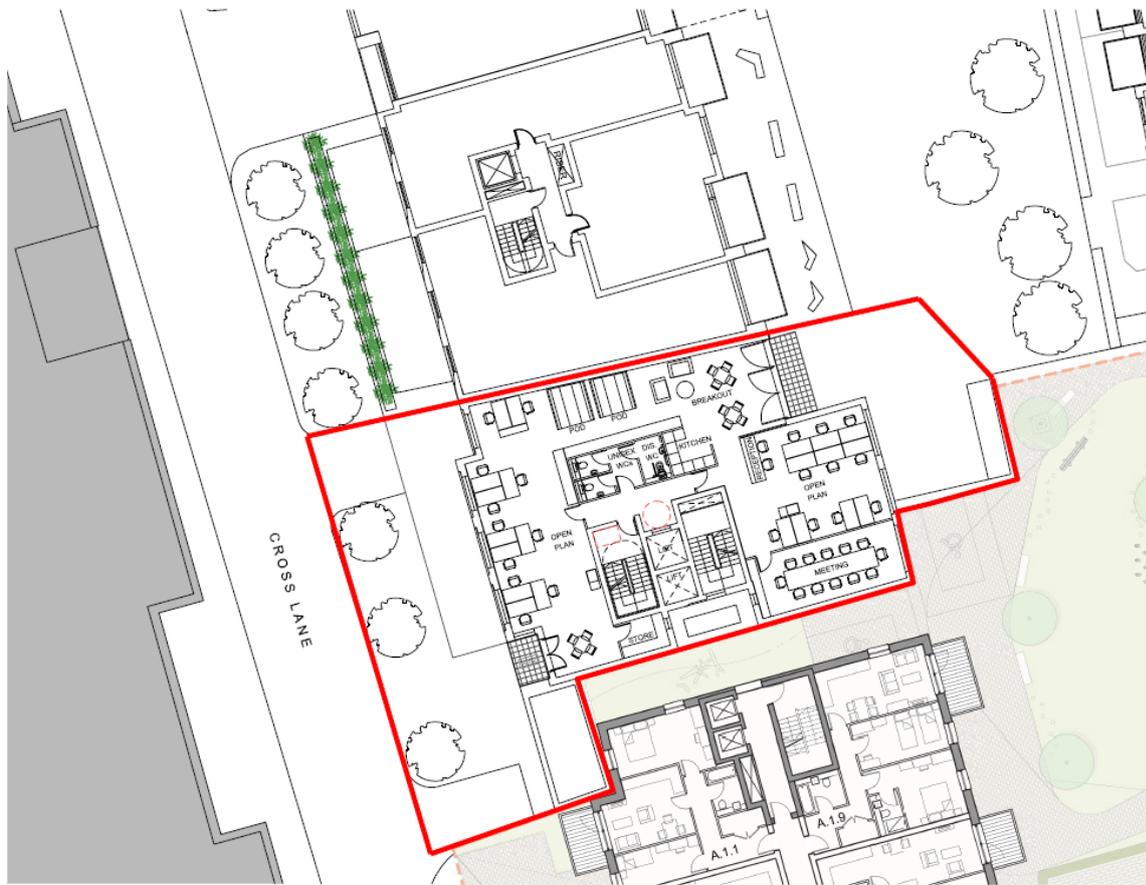


Proposed 1st floor

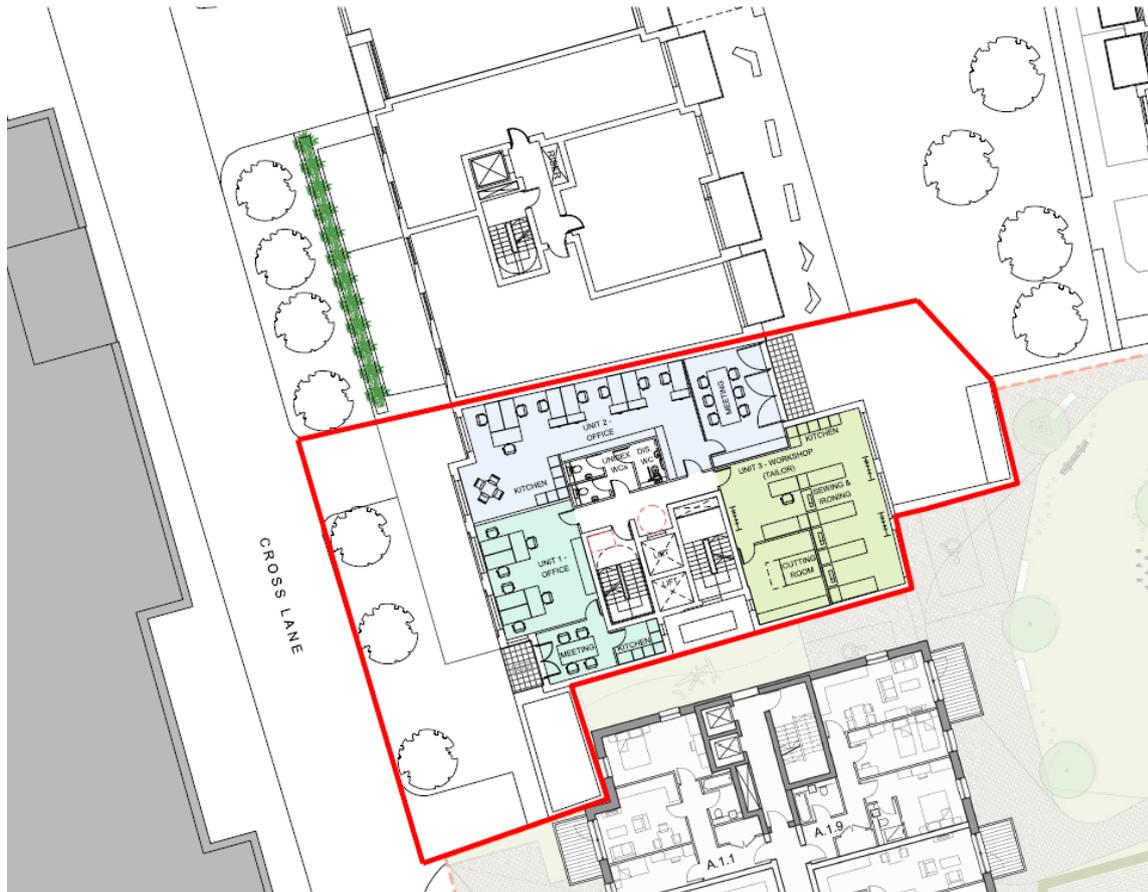


Addendum Report

Proposed 2nd floor – Employment floorspace – single occupant



Proposed 2nd floor – Employment floorspace – multiple occupant



Addendum Report

Proposed typical flat layout



Appendix 3 Consultation Responses from internal and external agencies

Appendix 3 is amended to include a further objection

NEIGHBOURING PROPERTIES		
<p>1 further letter received</p>	<ul style="list-style-type: none"> - Disruption from the car park entrance to local residents - The first floor terrace is not set back or screened like Granita Courts terrace - Noise and disturbance from the first floor terrace in a residential area - Access to the terrace of the commercial property should be restricted - The terrace should be redesigned 	<p>The proposal will not result in any greater disruption from the car park than should be expected in an urban area.</p> <p>The 1st floor terrace would not result in a significant increase in overlooking to neighbouring properties</p> <p>The proposal will not result in any greater noise or disturbance from the first floor terrace than the current situation.</p> <p>The first floor terrace would not have a significant impact on neighbouring properties</p> <p>The design of the first floor terrace is considered appropriate</p>