



NOTICE OF MEETING

Alexandra Palace and Park Board

TUESDAY, 6TH NOVEMBER, 2012 at 19:30 HRS - TRANSMITTER HALL, ALEXANDRA PALACE, ALEXANDRA PALACE WAY, WOOD GREEN, LONDON N22.

Councillors:

Councillor Matt Cooke (Chair), Councillor James Stewart (Vice-Chair), Councillor Ali Demirci, Councillor Bob Hare, Councillor Sheila Peacock, Councillor Nigel Scott and Councillor Neil Williams

Non-voting representatives:

Mr C. Marr, Ms V. Paley and Mr N Willmott
(Alexandra Palace and Park Consultative Committee).

Observer:

Mr D. Heathcote (Chair, Alexandra Park and Palace Advisory Committee).

AGENDA

1. APOLOGIES FOR ABSENCE

2. URGENT BUSINESS

The Chair will consider the admission of any late items of urgent business. (Late items will be considered under the agenda item where they appear. New items will be dealt with at items 10 & 18 below)

3. DECLARATIONS OF INTERESTS

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

- (i) must disclose the interest at the start of the meeting or when the interest becomes apparent, and
- (ii) may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct.

4. QUESTIONS, DEPUTATIONS OR PETITIONS

To consider any questions, deputations or petitions received in accordance with Part 4, Section B29 of the Council's Constitution.

5. MINUTES (PAGES 1 - 22)

- i. To confirm the unrestricted minutes of the Alexandra Palace and Park Board held on 24 July 2012 as an accurate record of the proceedings.
- ii. To receive the minutes of the Alexandra Park and Palace Advisory Committee held on 17 July 2012, and to consider any recommendations from that Committee.
- iii. To receive and consider the minutes of the informal joint Alexandra Palace and Park Consultative Committee, and Alexandra Park and Palace Advisory Committee held on 17 July 2012, and to consider any recommendations from that Committee.
- iv. Process for circulation of draft minutes

6. REPORT OF THE CHIEF EXECUTIVE (PAGES 23 - 28)

To receive the report of the Chief Executive, Alexandra Palace, detailing –

- Events programme
- Governance

7. REPORT OF THE FINANCE AND RESOURCES DIRECTOR (PAGES 29 - 32)

To receive the report of the Finance and Resources Director detailing –

- Latest Trust Management Accounts
- Update from Finance and Resources Committee (19 October 2012)

8. REPORT OF THE PARK MANAGER (PAGES 33 - 36)

To receive the report of the Park Manager, Alexandra Palace, updating the Board on events and works within the park.

9. REGENERATION REPORT (PAGES 37 - 68)

To receive the report of the Chief Executive, Alexandra Palace, detailing –

- Summary of progress since the last meeting
- Proposal for Major Grants bid to the Heritage Lottery Fund for approval

10. ANY OTHER UNRESTRICTED BUSINESS THE CHAIR CONSIDERS TO BE URGENT

11. FUTURE MEETINGS

To note the date of the next meeting – Thursday 7 February 2012.

12. EXCLUSION OF THE PUBLIC AND PRESS

Items 13-20 are likely to be subject of a motion to exclude the press and public from the meeting as they contain exempt information as defined in Section 100a of the Local Government Act 1972; Paragraph 2 – Information which is likely to reveal the identity of an individual, Paragraph 3 – Information relating to the business or financial affairs of any particular person (including the Authority holding that information) and Paragraph 5 – Information in respect of which a claim to legal professional privilege could be maintained in legal proceedings.

13. MINUTES (PAGES 69 - 72)

To confirm the exempt minutes of the Alexandra Palace and Park Board held on 24 July 2012 as an accurate record of the proceedings.

14. CONTRACT APPROVALS (PAGES 73 - 80)

15. PROPERTY MATTERS - PARK LEASE POLICY AND SUMMARY (PAGES 81 - 90)

16. TRUST AND TRADING COMPANY THREE YEAR BUSINESS PLAN (PAGES 91 - 120)

17. TRADING COMPANY MANAGEMENT ACCOUNTS (PAGES 121 - 134)

- 18. STAFF MATTERS (PAGES 135 - 138)**
- 19. OUTSTANDING LEGAL MATTERS (PAGES 139 - 154)**
- 20. ANY OTHER EXEMPT BUSINESS THE CHAIR CONSIDERS TO BE URGENT**

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**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

Councillors Cooke (Chair), Stewart (Vice-Chair), Demirci, Hare, Peacock and Williams

Non-Voting Representatives: V. Paley and C. Marr

Observer:

Also present:

Duncan Wilson – Chief Executive, Alexandra Palace
 Mark Hopson – Head of Regeneration & Development, Alexandra Palace
 Mark Evison – Park Manager, Alexandra Palace
 Nigel Watts - Director of Finance & Resources, Alexandra Palace
 Sue Barnett – Deloittes
 Daniel Griffiths – PPS Group
 Francis Maude – Donald Insall Associates
 Gary Young – Farrells and Partners

**MINUTE
NO.**

SUBJECT/DECISION

APBO222.	<p>APOLOGIES FOR ABSENCE</p> <p>Apologies for absence were received from Councillor Scott, Denis Heathcote and Nigel Willmott.</p> <p>Apologies for lateness were received from Councillor Williams.</p>
APBO223.	<p>URGENT BUSINESS</p> <p>There were no such items.</p>
APBO224.	<p>DECLARATIONS OF INTERESTS</p> <p>Councillors Cooke, Hare and Stewart, declared a personal and prejudicial interest in exempt agenda item 7 - as Directors of Alexandra Palace Trading Limited and advised that they would not take part in the discussion of the item.</p>
APBO225.	<p>QUESTIONS, DEPUTATIONS OR PETITIONS</p> <p>None.</p>
APBO226.	<p>MINUTES</p> <p>RESOLVED</p> <p>i) That the unrestricted minutes of the Alexandra Palace and Park Board</p>

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

	<p>held on 7 June 2012 be approved as a correct record of the proceedings.</p> <p>ii) That the minutes of the Alexandra Park and Palace Advisory Committee held on 22 May 2012 be noted.</p> <p>iii) That the minutes of the informal joint Alexandra Palace and Park Consultative Committee and Alexandra Park and Palace Advisory Committee held on 22 May 2012 be noted.</p> <p>iv) That the minutes of the Alexandra Palace and Park Consultative Committee held on 22 May 2012 be noted.</p>
APBO227.	<p>EXCLUSION OF THE PUBLIC AND PRESS</p> <p>RESOLVED that the press and public be excluded from the meeting for the consideration of agenda item 7 as it contains exempt information as defined in Section 100a of the Local Government Act 1972; Para 3 – information relating to the business or financial affairs of any particular person (including the authority holding the information).</p> <p><i>Clerk's note – the press and public were excluded at 19:40hrs.</i></p>
APBO228.	<p>SUMMARY OF EXEMPT / CONFIDENTIAL PROCEEDINGS</p> <p>APBO229 APPROVAL OF STATUTORY FINAL ACCOUNTS OF APTL 2011/12</p> <p>The recommendations were agreed.</p>
APBO229.	<p>RE - INCLUSION OF THE PRESS AND PUBLIC</p> <p>The Chair invited members of the press and public to re-enter the meeting.</p>
APBO230.	<p>APPROVAL OF 2011/12 APPCT ACCOUNTS</p> <p>Nigel Watts - Director of Finance & Resources, Alexandra Palace & Park - introduced the report as set out. He explained that the reports were not circulated with the original agenda packs as matters had not been finalised by the auditors following the Trading Company Board meeting on 13 July 2012.</p> <p>The draft accounts were included at Appendix 1 of the report, and were subject to some technical adjustments.</p> <p>Sue Barnett – Deloitte – added that there was nothing out of the ordinary to report with regards to the audit.</p> <p>The following responses were provided to questions from the Board:</p> <ul style="list-style-type: none"> • The Gift Aid payment for 2010/11 was lower than 2011/12 because profits had been lower in that financial year. This was in part due to the closure of the ice rink. • A rigorous process was in place to ensure that every trading event was profitable.

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

	<p>The Chair thanked Nigel Watts and Deloitte for attending. He also thanked the team at the Palace.</p> <p>RESOLVED, subject to technical adjustments,</p> <ul style="list-style-type: none"> i) That the Chair be authorised to sign the letter of representations on behalf of the Charity; ii) That the consolidated accounts be prepared on a going concern basis; iii) That the Trustees Report and Consolidated Financial Statements for 2011/12 be approved and the Chair be authorised to sign them on behalf of the Board for submission to the Charities Commission; iv) That the contents of the report provided by Deloitte on the audit of the consolidated financial statements for the year ended 31 March 2012 be noted; v) That Deloitte be re-appointed as auditors to Alexandra Park and Palace Charitable Trust for the financial year 2012/13; and vi) That the results against budget for the two months ended 31 May 2012 be noted.
APBO231.	<p>REPORT OF THE CHIEF EXECUTIVE, ALEXANDRA PALACE</p> <p>Duncan Wilson – Chief Executive, Alexandra Palace – introduced the report as set out.</p> <p>NOTED:</p> <ul style="list-style-type: none"> • The written report provided information on upcoming events at the Palace. Paragraph 7.2 outlined the focus on broadening the range of events. • A strategic risk register would be reported at the next Board meeting, with a bi-annual update. • Duncan Wilson had been tasked with finding non-voting advisors to the Board. Members of the Board should pass any nominations to Duncan. • A discussion had taken place at the Informal Joint Statutory Advisory Committee and Consultative Committee meeting on 17 July 2012 with regards to grit left behind by Red Bull following the event. Discussions had since taken place with Red Bull, who would be removing the grit within the next three weeks. • A review of the London Mayoral Elections count had been held at City Hall. The power cuts at Alexandra Palace had been attributed to a sub-contractor testing the sprinkler system. The Greater London Returning Officer was satisfied that Alexandra Palace had dealt with the problem quickly. <p>The Chair commented that in the current economic situation, it was a good idea to provide a diverse range of events at the Palace.</p>

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

	<p>RESOLVED</p> <p>That the report be noted.</p>
APBO232.	<p>REVIEW OF REGENERATION CONSULTATION RESULTS AND NEXT STEPS</p> <p>Mark Hopson – Head of Regeneration and Development – introduced the report as set out.</p> <p>He introduced Daniel Griffiths from PPS Group, who outlined the findings from the regeneration consultation.</p> <p>NOTED:</p> <ul style="list-style-type: none"> • There was a broad range of respondents to the surveys – responses were received by the internet, post and over 800 were received through the ‘street teams’. In all, 2100 responses were received. • Nearly half of respondents ranked ‘improving first impressions’ as the most important aspect in the future improvement of the Palace, with ‘upgrading the entrances to the palace’ as the second most important. • The top priorities were listed as ‘upgrading the main halls’ and ‘opening up the theatre’. • There was a good mix of ages within the respondents, and BME respondents made up 25% of the replies. • A postcode analysis had been carried out, with majority of responses received from N22, N10 and N8. • 268 forms were received after the end of the consultation – the findings mirrored those of the original analysis. • Building a hotel in the Palace was the most contentious of all suggestions, with around 70 comments made generally opposed to the proposal, but a small majority were in favour. <p>The Chair commented that the concerns over whether the whole borough was reached were validated by the postcode analysis of respondents. He added however, that a significant amount of work had taken place to ensure that residents in the east of the borough had been reached as part of the consultation exercise.</p> <p>The following responses were provided to questions from the Board:</p> <ul style="list-style-type: none"> • The consultation deliberately left out any questions about the Park, as a major refurbishment had been carried out in 2007. The regeneration of the Palace was a bigger challenge. • In response to whether an analysis against each postcode could be carried out, as certain roads could have different issues to others – for example, responses from N10 may be different to responses from N15 - Mark Hopson explained that although this analysis could be carried out, not all respondents left their postcodes so the breakdown may not represent all respondents in a particular postcode. <p>Mark Hopson then referred the Board to the URS report at Appendix 2. URS were commissioned to provide advice and specialist input to the consultation on the spatial masterplan. As part of this input, a set of focused discussion groups were held with targeted groups of young people, older people, disabled people</p>

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

	<p>and people from diverse ethnic backgrounds.</p> <p>Councillor Peacock commented that she had not been approached for contact details of people in her pensioners group, which had over 400 members. Mark Hopson explained that URS had approached groups via the 800 voluntary organisations in the borough and that this information was provided by the Council's diversity department. Duncan Wilson added that as responses to the consultation were still be collected, he would attend a meeting and asked Councillor Peacock to provide him with details.</p> <p>RESOLVED</p> <p>i) That the results of the public consultation outlined in the report and the independent reports at Appendix 2 and 3 be noted.</p> <p>ii) That the next steps as outlined in section 8 of the report be approved.</p>
APBO233.	<p>PARKS UPDATE</p> <p>Mark Evison – Park Manager – introduced the report as set out.</p> <p>NOTED:</p> <ul style="list-style-type: none"> • Alexandra Park had achieved Green Flag and Green Heritage site status for the fifth year running. <p><u>Closure of gates</u></p> <ul style="list-style-type: none"> • Due to incidents of ASB, it was proposed to have a trial period where the Park Avenue North gate and Muswell Hill pedestrian entrance would be closed at night. The trial period would need to be for a year, as different seasons would produce different results. <p><u>Cricket club and grounds improvement project</u></p> <ul style="list-style-type: none"> • Colin Marr reported that the joint SAC/CC meeting a week earlier had welcomed the new proposal that the irrigation tank should be buried and the Board should be encouraged to accept this recommendation, which would be consistent with its duties of responsibility for the Conservation Area. <p>RESOLVED</p> <p>i) That the outcome of the Green Flag Award application be welcomed.</p> <p>ii) That, following the consideration of the proposal to begin overnight closures of two Park entrances, a trial period of one year be agreed, with reports of findings made to the Alexandra Palace and Park Board.</p> <p>iii) That the proposal to bury the irrigation tank at the cricket ground be agreed.</p>
APBO234.	<p>REGENERATION UPDATE</p> <p>Duncan Wilson – Chief Executive, Alexandra Palace - introduced the report as</p>

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

set out.

NOTED:

- The key recommendation of the Gateway Review was detailed at paragraph 6.4 of the report. The draft copy of the report was attached as a restricted appendix, and could be discussed during the exempt proceedings of the meeting.
- Thoughts were being given as to the 'next steps' and a separate meeting would be arranged for the Board to discuss options in further detail.
- The HLF bid would be made in November, following the Alexandra Palace and Park Board meeting on 6 November.

The following responses were provided to questions from the Board:

- Funding was available for current year to cover the costs of advice to get through to the next stage of the HLF bids.
- The report could not currently be made public, as it contained commercially sensitive information.

Conservation Management Plan

Duncan Wilson introduced Francis Maude – Donald Insall Associates – who provided an update on the key changes to the Conservation Management Plan. Copies of the presentation are available from the Clerk on request.

NOTED:

- Consultation feedback had been received from a number of sources:
 - English Heritage
 - Alexandra Palace Television Group
 - Friends of the Alexandra Palace Theatre
 - London Borough of Haringey
 - Key individuals who worked on the post 1980 fire restoration
 - Individual comments expressed as part of the recent public consultation exercise
- Additional information was received from:
 - Farrells
 - Fourth Street
 - Bonner Keenlyside
 - Friends of the Theatre
 - WSP Group
- The changes to the CMP were detailed as follows:
 - Buildings
 - Minor revisions to chronology
 - Additional text added, particularly in relation to the use of part of the building by the BBC
 - Assessment of significance
 - Increased emphasis on the importance of the Palace to local residents
 - Increased reference to the importance of the BBC studios
 - Conservation plan policies
 - Increased detail arising from a better understanding of what can be achieved, and omission of unfeasible options
 - Implementation
 - Increased detail in relation to the Theatre

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

- Addition of a note on funding
 - Gazetteer
- Minor corrections and additional detail about the 1980s restoration
- General revisions to the theatre section
 - Plate list and Plates
- Revised for the post fire rebuild images due to copyright clearance issues

The Chair thanked Francis Maude for attending.

Duncan Wilson introduced Gary Young – Farrells – who provided an update on the spatial masterplan following the public consultation. Copies of the presentation are available from the Clerk on request.

NOTED:

- Generally, respondents were pleased to see that regeneration was being considered.
- High priority projects were identified as:
 - Theatre
 - East approach
 - South terrace
 - Great Hall
 - Palm Court
- The East/West corridors were considered as low priority, however this could be due to a lack of information / understanding as to why this would be a benefit to visitors at the Palace.
- It was important to improve first impressions on arrival at the Palace and work would take place to make it easier to move around the outside of the Palace.

At this point in the meeting, the Chair proposed that, as the time was approaching 22.00hrs, Standing Orders be suspended to enable the conversation to continue. Members of the Board agreed to the proposal and it was

RESOLVED that Standing Orders be suspended to enable the meeting to continue past 22.00hrs.

A discussion took place and the following was noted:

- Regeneration would provide new uses for areas within the Palace.
- Addressing the approach to the building could help in regards to the success of the HLF bid.
- The hotel was given a low priority following the consultation – this was likely to be due to a lack of understanding by people taking part in the consultation of its supporting role for other proposed uses, and the degree of public access to the hotel itself.
- The next stage would be to test the market and discuss how to progress the masterplan.

RESOLVED

- i) **That the recommendations of the Regeneration Gateway review report be noted;**

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

	<p>ii) That the key changes to the Conservation Management Plan be noted and the document be formally adopted as the Palace's conservation manual;</p> <p>iii) That the updates made to the regeneration business plan be noted and the document be formally adopted;</p> <p>iv) That the proposed changes to the strategic spatial masterplan document as a result of the consultation feedback and regeneration be approved; and</p> <p>v) That the regeneration programme be progressed to the next stage of work, which would include the submission of a formal HLF bid following the Alexandra Palace and Park Board on 6 November 2012 and preparation of a prospectus for engagement with the market.</p>
APBO235.	<p>ANY OTHER UNRESTRICTED BUSINESS THE CHAIR CONSIDERS TO BE URGENT There was no such business.</p>
APBO236.	<p>FUTURE MEETINGS</p> <p>NOTED:</p> <p>Tuesday 6 November 2012 Thursday 7 February 2013</p>
APBO237.	<p>EXCLUSION OF THE PUBLIC AND PRESS</p> <p>RESOLVED that the press and public be excluded from the meeting for the consideration of agenda items 17 – 20 as they contain exempt information as defined in Section 100a of the Local Government Act 1972; Para 3 – information relating to the business or financial affairs of any particular person (including the authority holding the information).</p>
APBO238.	<p>SUMMARY OF EXEMPT / CONFIDENTIAL PROCEEDINGS</p> <p>APBO 240 REGENERATION UPDATE</p> <p>The recommendations were agreed.</p> <p>APBO 241 REGENERATION MASTERPLAN - WAIVER AND AWARD OF CONTRACT</p> <p>The recommendations were agreed.</p> <p>APBO 242 EXEMPT MINUTES</p> <p>The exempt minutes of the meeting held on 7 June 2012 were confirmed as a correct record of proceedings.</p>

**MINUTES OF THE ALEXANDRA PALACE AND PARK BOARD
TUESDAY, 24 JULY 2012**

	<p>APBO 243 ANY OTHER EXEMPT BUSINESS THE CHAIR CONSIDERS TO BE URGENT</p> <p>There was no such business.</p>
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COUNCILLOR MATT COOKE

Chair

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**MINUTES OF THE ALEXANDRA PARK AND PALACE ADVISORY COMMITTEE.
TUESDAY, 17 JULY 2012**

PRESENT: * denotes absence

NOMINATED BY LOCAL RESIDENTS' ASSOCIATIONS

Mrs J. Hutchinson	:	Alexandra Residents' Association
Mr K. Ranson	:	Bounds Green and District Residents' Association
Mr D. Heathcote	:	Muswell Hill and Fortis Green Association
*Mr J. Athanassiou	:	Palace Gates Residents' Association
Ms L. Richardson	:	Palace View Residents' Association
Mr. D. Frith	:	The Rookfield Association
*Mr. D. Liebeck	:	Warner Estate Residents' Association
VACANCY		

APPOINTED MEMBERS

*Councillor Beacham	:	Alexandra Ward
Councillor Christophides	:	Bounds Green Ward
Councillor Erskine	:	Fortis Green Ward
*Councillor Gorrie	:	Hornsey Ward
Councillor J. Jenks	:	Muswell Hill Ward
Councillor P. Gibson	:	Noel Park Ward
Councillor E. Griffith	:	Council Wide appointment
*Councillor Dogus	:	Council Wide appointment

Also in attendance:

Mr Duncan Wilson – Chief Executive – Alexandra Palace
Mr Mark Evison – Park Manager – Alexandra Palace
Mr Sam Davison – LB. Haringey
Miss Felicity Parker – Clerk to the Committee

Public Gallery: Approximately 8 members of the public

**MINUTE
NO.**

SUBJECT/DECISION

APSC63.	APOLOGIES FOR ABSENCE Apologies for absence were received from Councillor Beacham, Jimmy Athanassiou and David Liebeck.
APSC64.	DECLARATIONS OF INTEREST Councillor Jenks declared a personal interest as he was a member of the Warner Estate Residents' Association.
APSC65.	MINUTES AND MATTERS ARISING RESOLVED i) To approve the minutes of the Advisory Committee meeting held on 22 May

**MINUTES OF THE ALEXANDRA PARK AND PALACE ADVISORY COMMITTEE.
TUESDAY, 17 JULY 2012**

	<p>2012.</p> <p>ii) To note the minutes of the Alexandra Palace and Park Board meeting held on 3 April 2012.</p> <p>iii) To note the minutes of the Consultative Committee meeting held on 22 May 2012, subject to the following amendment:</p> <p>APCC12 (b) to read – Colin ‘Marr’, rather than ‘Frith’.</p> <p>iv) To note the minutes of the informal Joint Statutory Advisory and Consultative Committee meeting held on 22 May 2012, subject to the following amendment:</p> <p>Apologies for absence to be noted for Liz Richardson.</p> <p><u>Matters Arising</u></p> <p>At the last Statutory Advisory Committee meeting held on 22 May 2012, the decision to appoint a Vice-Chair was deferred. The Chair asked for nominations or volunteers for a Vice-Chair. Councillor Jenks volunteered and all Members of the Committee agreed that Councillor Jenks be appointed as Vice-Chair for the Municipal Year 2012/13.</p> <p>RESOLVED that Councillor Jenks be appointed as Vice-Chair of the Statutory Advisory Committee for the Municipal Year 2012/13.</p>
<p>APSC66.</p>	<p>PARK ACTIVITIES UPDATE</p> <p>The Committee noted the discussion held during the Joint SAC/CC meeting.</p> <p>In addition to the proposal made by the Joint SAC/CC meeting, the SAC members felt that the level of damage to the Park following the Red Bull BMX event had not been taken fully into account and that any events in the future must only take place if assurances are made by Red Bull that all traces of the event would be removed quickly and completely.</p> <p>The SAC supported the decision of the SAC/CC to support the updated proposals for the improvements to the cricket club grounds.</p> <p>RESOLVED</p> <p>i) That the report be noted.</p> <p>ii) That the recommendation from the Statutory Advisory Committee to the Alexandra Palace and Park Board with regards to future Red Bull events be noted as follows:</p> <p>The Statutory Advisory Committee and the Consultative Committee request that Red Bull remove or relocate the spoil to a suitable area, at Red Bull’s expense. When considering future events, the Alexandra Palace and Park Board shall take into account the level of damage left</p>

**MINUTES OF THE ALEXANDRA PARK AND PALACE ADVISORY COMMITTEE.
TUESDAY, 17 JULY 2012**

	<p>behind by Red Bull at the last event and seek assurances that were an event take place again that all traces of the event would be removed quickly and completely.</p> <p>iii) That the Alexandra Palace and Park Board be notified of the Statutory Advisory Committee's approval of the updated proposals for the water storage tank at the Cricket Club.</p> <p>iv) That the proposals for Dog Control Orders in the Park and the request for the Committee to respond to the consultation be noted.</p>
APSC67.	<p>FORTHCOMING EVENTS</p> <p>The Committee noted the discussion held during the Joint SAC/CC meeting.</p> <p>RESOLVED to note the report.</p>
APSC68.	<p>GOVERNANCE</p> <p>The Committee noted the discussion held during the Joint SAC/CC meeting.</p> <p>RESOLVED that the Statutory Advisory Committee and Consultative Committee Chairs would work together to facilitate the working group.</p>
APSC69.	<p>REGENERATION</p> <p>The Committee noted the discussion held during the Joint SAC/CC meeting.</p> <p>RESOLVED to note the report.</p>
APSC70.	<p>ANY OTHER BUSINESS</p> <p>None.</p>
APSC71.	<p>DATES OF FUTURE MEETINGS</p> <p>NOTED the dates of future meetings:</p> <p>Tuesday 16 October 2012 Tuesday 15 January 2013</p>

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**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

PRESENT: * denotes absence

NOMINATED BY LOCAL RESIDENTS' ASSOCIATIONS

Advisory Committee Nominated Members of:

Alexandra Residents' Association	: Ms J. Hutchinson
Bounds Green and District Residents Association	: Mr K. Ranson
Muswell Hill and Fortis Green Association	: Mr D. Heathcote
Palace Gates Residents' Association	: *Mr J. Athanassiou
Palace View Residents Association	: Ms E. Richardson
The Rookfield Association	: Mr D. Frith
Warner Estate Residents' Association	: *Mr D. Liebeck
1 Vacancy	

Advisory Committee Appointed Members:

Alexandra Ward	:	*Councillor Beacham
Bounds Green Ward	:	Councillor Christophides
Fortis Green Ward	:	Councillor Erskine
Hornsey Ward	:	*Councillor Gorrie
Muswell Hill Ward	:	Councillor Jenks
Noel Park Ward	:	Councillor Gibson
Council-wide Member	:	Councillor Griffith
Council-wide Member	:	*Councillor Dogus

Consultative Committee Nominated Members:

Alexandra Palace Amateur Ice Skating Club	*Mr M. Tarpey
Alexandra Palace Allotments Association	*Mr C. Mahony (<i>replaced by Ms E. Regan</i>)
Alexandra Palace Angling Association	Mr K. Pestell
Alexandra Palace Organ Appeal	*Mr R. Tucker
Alexandra Palace Television Group	*Mr J. Thompson
Alexandra Residents' Association	Ms C. Hayter
Alexandra Palace Garden Centre	*Mr C. Campbell-Preston
Alexandra Park and Palace Conservation Area Advisory Committee	Mr C. Marr
Bounds Green and District Residents' Association	Mr K. Ranson
CUFOS	*Mr J. Smith
Friends of Alexandra Park	Mr G. Hutchinson
Friends of the Alexandra Palace Theatre	*Mr N. Willmott
Hornsey Historical Society	Mr J. O'Callaghan
Muswell Hill and Fortis Green Association	Ms D Feeney
Muswell Hill Metro Group	*Mr J. Boshier
New River Action Group	Miss R. Macdonald
Palace View Residents' Association	Ms V. Paley
Vitrine Ltd - The Lakeside Café	*Mr A. Yener
Warner Estate Residents' Association	Prof. R. Hudson

Consultative Committee Appointed Members:

*Councillor Cooke
*Councillor Demirci
Councillor Hare

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE
STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK
CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

*Councillor Peacock
*Councillor Scott
*Councillor Stewart
*Councillor Williams

Also attending

Duncan Wilson – Chief Executive – Alexandra Palace
Mark Evison – Park Manager, Alexandra Palace
Sam Davison – LB. Haringey
Felicity Parker – Clerk to the Committee (LB Haringey)

Approx. 8 members of the public

**MINUTE
NO.**

SUBJECT/DECISION

<p>APSC75.</p>	<p>ELECTION OF CHAIR</p> <p>As Chair of the previous meeting, Colin Marr opened the meeting and called for nomination for a Chair for the remainder of the 2012/13 Municipal Year.</p> <p>Gordon Hutchinson nominated Colin Marr, Jacob O’Callaghan seconded the nomination and it was</p> <p>RESOLVED that Colin Marr be elected as Chair of the Joint Informal Meeting of the Alexandra Park and Palace Statutory Advisory Committee and the Alexandra Palace and Park Consultative Committee.</p> <p style="text-align: center;"><u>Colin Marr in the Chair</u></p>
<p>APSC76.</p>	<p>APOLOGIES FOR ABSENCE</p> <p>Apologies for absence were received from Councillor Beacham, Councillor Cooke, Councillor Demirci, Councillor Peacock, Councillor Stewart, Jimmy Athanassiou and David Liebeck.</p>
<p>APSC77.</p>	<p>DECLARATIONS OF INTEREST</p> <p>Councillor Jenks declared a personal interest as he was a member of the Warner Estate Residents’ Association.</p>
<p>APSC78.</p>	<p>MINUTES AND MATTERS ARISING</p> <p>RESOLVED</p> <p>i) To approve the minutes of the informal Joint Statutory Advisory and Consultative Committee meeting held on 22 May 2012, subject to the following amendment:</p> <p>Apologies for absence to be noted for Liz Richardson.</p>

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

	<p>ii) To note the minutes of the Statutory Advisory Committee meeting held on 22 May 2012.</p> <p>iii) To note the minutes of the Consultative Committee meeting held on 22 May 2012, subject to the following amendment:</p> <p>APCC12 (b) to read – Colin ‘Marr’, rather than ‘Frith’.</p> <p>iv) To note the minutes of the Alexandra Palace and Park Board meeting held on 3 April 2012.</p>
<p>APSC79.</p>	<p>PARK ACTIVITIES UPDATE</p> <p>RECEIVED the Park Activities Update as set out in the agenda papers, introduced by Mark Evison – Park Manager, Alexandra Park.</p> <p>NOTED</p> <p><u>Red Bull BMX Event</u></p> <ul style="list-style-type: none"> • The recent weather had not helped with the restoration of the grounds, although some re-seeding had now taken place using acid-loving grass species as recommendation by an ecologist. • Some Committee members raised concerns over the ‘spoil’ left behind by Red Bull and asked when it would be removed. Duncan Wilson explained that Red Bull had requested to hold another event in the Park next year. Although no decision has been made with regards to this, and Red Bull would still have to submit a proposal, it was decided that removing the spoil would incur high costs and cause significant disruption especially if it were to be brought back again should another event take place. It was anticipated that Alexandra Palace would be in a position to take a decision at the end of the year. • A discussion continued and the following was noted: <ul style="list-style-type: none"> - Councillor Hare suggested that the perimeter fence be moved in closer so that the area looked tidier, until a decision was made.- - Gordon Hutchinson spoke on behalf of Friends of the Park and stated that although the event was said to be successful, it was felt that the disadvantages outweighed the benefits. The main disadvantages were noise from the event, noise from the movement of vehicles, damage done to the park, delay in the restoration of the park, and general interference with normal park activities. - Some members of the Committee felt that moving the debris to a different area in the park could cause as much disruption as it would to remove it completely. Other members felt that Red Bull should have removed everything after the event, as they had promised to do, and any further proposals for events would be considered at a later date. - The Chair proposed a recommendation to the Board, and it was agreed

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE
STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK
CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

that the view of the joint committee should be made to the Board – this to request that Red Bull be asked, at their expense, either to clear the site of all the debris, or remove it to some other agreed and safe location within the park. Further that any proposal for another similar event next year be considered on its merits at a later date. The Statutory Advisory Committee would separately consider its' recommendation.

- Duncan Wilson said that it would be known by October whether Red Bull wanted a repeat event and a fresh proposal could be considered then and would be open for review by the joint committee.

Improvements to Cricket Grounds – Sam Davison

- Since the last meeting, site visits had been carried out for members. A couple of further options had been suggested, but after investigation by the project team, were considered unsuitable.
- The new proposal was to bury the tank. Additional funding would be required for this, but assurances had been made that it would be available.
- In response to whether the tank could be moved to the car park at the back of the building, Sam Davison explained that this was not feasible as it would impinge on parking spaces, the tank would be sitting 6ft above the ground and an access door to the club house would be blocked.
- The Committee were reassured by the decision to bury the tank and agreed not to press any further reservations about this with the Board.

Dog Control Orders

- LB Haringey were in the process of consulting on Dog Control Orders. The proposal from Alexandra Palace was included in the agenda pack and the Committee was requested to consider the proposal and respond directly to the Council.
- Enforcement of the Orders would be by the Council's Enforcement Officers, but improved signage would play a large part in educating park users / dog owners.
- Mark Evison emphasised that the consultation was a LB Haringey initiative, and not Alexandra Palace. Committee members were encouraged to take the opportunity to potentially influence the outcome of the consultation.
- Committee members were generally in support of the Dog Control order and welcomed the more ordered approach that should benefit dog walkers and other park users.

A general discussion took place regarding park activities and the following was noted:

- Alexandra Park had achieved Green Flag and Green Heritage site status for the fifth year running.

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

	<ul style="list-style-type: none"> • The proposal for the closure of the Park Avenue North gate and Muswell Hill pedestrian entrance would be presented to the Alexandra Palace and Park Board on 24 July – some Committee members commented that closing the gates would prevent park users using the park as a through route, which is part of a designated cycle route and extension of the Parkland Walk. Mark Evison explained that the closures were not 24-hour, but between 22.00/23.00 and 06.00, and would only be introduced on a trial basis. The purpose of the proposal was to see whether ASB and vandalism could be reduced. Committee members agreed to this for a trial period. <p>RESOLVED</p> <ul style="list-style-type: none"> i) That the report be noted. ii) That the discussion with regards to the Red Bull BMX event, and the recommendation from the joint committee be made to the Board for its consideration at the next Board meeting. iii) That the Alexandra Palace and Park Board be notified of the Committee’s approval of the updated proposals for the water storage tank at the Cricket Club. iv) That the proposals for Dog Control Orders in the Park and the request for the Committee to respond to the consultation be noted.
<p>APSC80.</p>	<p>FORTHCOMING EVENTS</p> <p>RECEIVED the Forthcoming Events report as set out in the agenda papers, introduced by Duncan Wilson – Chief Executive, Alexandra Palace.</p> <p>NOTED</p> <ul style="list-style-type: none"> • Further information was requested as to access to the park from the north side on Torch Relay day. Duncan Wilson undertook to check this and publish access information on the Alexandra Palace website. • Jacob O’Callaghan queried the two dates for Gardeners Question Time – one was provisional and the other looked to be confirmed. Duncan Wilson explained that both dates were still provisional. • The Committee requested that timings of events be included on the event list. <p>RESOLVED to note the report.</p>
<p>APSC81.</p>	<p>GOVERNANCE</p> <p>The Chair introduced the item and referred to the recent letter sent to Committee members, which suggested that a Chair of the joint committee could be elected for</p>

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE
STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK
CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

	<p>the remainder of the Municipal Year and included a proposal for rationalisation of the membership. The Chair explained that the origins of this went back to the adoption of the joint committee idea early in 2011 when it was always envisaged that there would be continuity of chairmen and rationalisation / streamlining of membership, both to make the joint committee manageable in size and to improve its effectiveness.</p> <p>The Chair said that it was overdue that these matters were looked at again and proposed that a working group be re-established to address streamlining the committee by eliminating duplicate membership and resolving representation of lessees, tenants and employees. Other issues that should be resolved include the need for common agendas / paperwork and moving towards a more formalised and statutory nature for the joint committee. All of these issues had been anticipated in the original approach to joint working between the two committees, but had not been progressed.</p> <p>In the discussion on this item, Duncan Wilson suggested to the Chair that somebody from the executive could be involved with the working group to help it with its deliberations. The Chair thanked Duncan Wilson for his offer and recalled that the working group had in the past worked effectively and had liaised with the Trust Chair and the General Manager in the conclusion of its work..</p> <p>RESOLVED that the Statutory Advisory Committee and Consultative Committee Chairs would work together to facilitate the working group.</p>
APSC82.	<p>REGENERATION</p> <p>RECEIVED the report as set out in the agenda pack, introduced by Duncan Wilson – Chief Executive, Alexandra Palace.</p> <p>NOTED:</p> <ul style="list-style-type: none"> • Over 2000 responses had been received in response to the consultation. A full report had been included in the papers for the Alexandra Palace and Park Board meeting on 24 July 2012, and were published on the Council website - http://www.minutes.haringey.gov.uk/ieListDocuments.aspx?CId=105&MId=5935 • The general conclusion was that people were please to see that proposals for improving the Palace were being considered. There was significant support for bringing the theatre back into use. • The consultation showed some negative responses to the hotel idea, but these were put down to confusion as to what was actually proposed. Similarly, concerns about increased road traffic were to be seen as misunderstandings. • Concerns were raised by committee members about one or more of the display panels that seemed to show some specific proposals in the south east wing, e.g. for a 'BBC TV experience' that were not part of the consultation plan. Duncan Wilson responded that the labelling here was entirely illustrative and

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE
STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK
CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

	<p>was not indicative of any firm plan. Duncan went on to say that ideas were moving ahead for a 'visitor experience' in the Transmitter Hall and he expected to have some developed proposals for consideration in the Autumn.</p> <ul style="list-style-type: none"> • Duncan Wilson said that he hoped to have a significant bid for Heritage Lottery Funding for the next phase of regeneration in November, this would include plans for the Theatre and the south east wing / TV studios. Duncan agreed that these proposals at a formative stage would be put to the joint committee in October in advance for formal consideration by the Board. <p>RESOLVED to note the report.</p>
APSC83.	<p>NON-VOTING BOARD MEMBERS FEEDBACK</p> <p>None.</p>
APSC84.	<p>ITEMS RAISED BY INTERESTED GROUPS</p> <p>Noise from concerts/events at Alexandra Palace – raised by Jane Hutchinson on behalf of the Alexandra Residents' Association.</p> <p>Jane Hutchinson raised concerns over noise nuisance from concerts at the Palace. The noise levels seem to have risen from previous years, and this needed to be addressed especially as the amount of concerts at the Palace was rising. Local residents were carrying out surveys, the results of which would be presented to Duncan Wilson.</p> <p>Duncan Wilson responded by saying that until specific examples were provided to him, he was not able to comment in detail. He added that all events at the Palace were bound by the terms of the Palace's licence and all music must be set at a certain level as prescribed by the Council. This did not mean that there would not be any noise heard from events, but that this level of noise was one that was deemed acceptable by the Local Authority.</p>
APSC85.	<p>ANY OTHER BUSINESS OR URGENT BUSINESS</p> <p>The Chair welcomed Evelyn Regan from the Alexandra Palace Allotments Association, who would replace Colin Mahony as a Consultative Committee member.</p>
APSC86.	<p>DATES OF FUTURE MEETINGS</p> <p>NOTED the dates of future meetings:</p> <p>Tuesday 16 October 2012 Tuesday 15 January 2013</p>

**MINUTES OF THE JOINT INFORMAL MEETING OF THE ALEXANDRA PARK & PALACE
STATUTORY ADVISORY COMMITTEE AND THE ALEXANDRA PALACE AND PARK
CONSULTATIVE COMMITTEE
TUESDAY, 17 JULY 2012**

Alexandra
Palace the
people's palace.

Alexandra Palace & Park Charitable Trust Board

on 6th November 2012

Report Title: **Chief Executive Update**

Report of: **Duncan Wilson, Chief Executive, Alexandra Palace Charitable Trust**

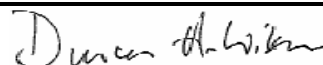
1. Purpose

- 1.1 To update the Board on a successful summer programme, and forthcoming events to June 2013
- 1.2 To propose to the Board an advisory panel to consider potential candidates for appointment as non-voting advisers to the APPCT Board and other relevant subcommittee/advisory committee appointments

2. Recommendations

- 2.1 That the Board notes the contents of the report
- 2.2 That the Board agrees the setting up of a small subcommittee to consider candidates before putting them to the main Board

Report Authorised by: **Duncan Wilson, Chief Executive**



Contact Officer: **Duncan Wilson, Chief Executive, Alexandra Palace & Park,
Alexandra Palace Way, Wood Green N22 7AY Tel No. 020 8365 4340**

3. Executive Summary

- 3.1 APTL has experienced an extraordinary summer, successfully delivering the Olympic Torch Relay, Holland Heineken House and Sacrilege (Bouncy Stonehenge) within a few weeks. The teams have worked with passion, enthusiasm and dedication, resulting in high client satisfaction, good public feedback and positive media coverage, particularly in relation to Holland Heineken House. The organisation now looks forward to a full schedule of events including Knit & Stitch, Christian Radio Woman to Woman Conference, Jack White (concert) and the World Darts Championships.
- 3.2 On governance, a number of potential candidates are emerging who might strengthen our Board and relevant subcommittees. It is proposed that a small advisory panel of Trustees is set up to review CVs and if deemed appropriate interview candidates so that the Board is well briefed before making a decision in each case.

4. Reasons for any change in policy or for new policy development (if applicable)

4.1 N/A

5. Local Government (Access to Information) Act 1985

5.1 N/A

6. Events schedule

6.1 Confirmed public events and first provisional options to June 2013 are as follows:

Schedule Of Events 2012/13				
Event Information			Organiser Information	
Tenancy	Event	Location	Open Date	Open Hrs
13-Oct	Knitting & Stitching Show	Pub exclusive Hire	13-Oct	19:30 - 02:00
8-14-Oct	Knitting & Stitching Show	All areas	11-Oct 12 Oct 13-Oct 14-Oct	10:00-17:30 10:00-17:00 10:00-17:30 10:00-17:00
16-Oct	SAC/CC Meeting	TH	16-Oct	19:30-22:00
17-Oct	Homes for Haringey	PR/PC	03-Oct	11:45-16:00
18-Oct	Private Company Team Away Day	PC2/3	18-Oct	09:30 - 16:30
19-Oct	Wedding Ceremony	P/C 5	19-Oct	09:00-18:00
19-Oct	Homes for Haringey	PR/PC	19-Oct	11:45-16:00
20-Oct	Private Party	In Door Beer Garden	20-Oct	TBC
20-21 Oct	Dolls House & Miniatures Fair	GH	21-Oct	10:00-16:00
22-26 Oct	AMMA	GH/WH/PR/PC	22-25 Oct	TBC
26/27 Oct	Christian Radio Woman to Woman	GH/WH/PR/PC	27-Oct	09:00-17:30
27-Oct	The Power of Invention	South Terrace/BBC Studios	27-Oct	08:30 - 13:00
28-Oct	Super cross	Park/South Slope	28-Oct	TBC
30-Oct	Dinners Award	PR	30-Oct	1800 – 0000
29-30 Oct	Organ Concert	GH	30-Oct	19:00-22:00
31-Oct	Wedding	PS	31-Oct	
1-4 Nov	Jack White Concert	GH/WH	2/3/4 Nov	18:30-23:00
5-6 Nov	Exams	WH/PR/LR	5-6 Nov	TBC
9-11 Nov	Vans Warped	GH/WH	10-Nov	TBC
15-17 Nov	Live Event (The Vaccines)	GH/WH	16/16 Nov	TBC
24-25 Nov	Antiques & Collectors Fair	GH	25-Nov	09:30-16:30

28-Nov	London College League Cross Country	Park	28-Nov	13:00 - 18:00
29-30 Nov	Organ Concert	GH	30-Nov	TBC
1-12 Dec	ACCA	GH/WH	1-12 Dec	TBC
3-12 Dec	ACCA	PS/LR/PC3-5	3-12 Dec	TBC
01-Dec	Private Anniversary	PS	01-Dec	TBC
10-Dec	Christmas/School Show	Ice Rink	10-Dec	13:00- 15:00
11-Dec	Christmas/School Show	Ice Rink	11-Dec	13:00 - 15:00
12-Dec	Christmas/School Show	Ice Rink	12-Dec	13:00- 15:00
13 Dec-6 Jan	PDC World Darts	WH/GH/PR	14 Dec - 1 Jan	Day 10:30- 17:30. Night 18:00- 00:00
14-Dec	Christmas/School Show	Ice Rink	14-Dec	1900- 2100
15-Dec	Christmas/School Show	Ice Rink	15-Dec	17:30 - 21:00
15-Dec	Cross Country	Park	15-Dec	TBC
16-Dec	Christmas/School Show	Ice Rink	16-Dec	13:30 - 15:30 - 17:30 - 19:30
17-Dec	Christmas/School Show	Ice Rink	17-Dec	19:00 - 21:00
12 - 21 Jan	Live Event (Masters Snooker)	WH/LR	13 - 20 - Jan	TBC
17 - 20 Jan	Model Engineering	GH/PS	18 - 20 Jan	TBC
25 - 26 - Jan	What's on	WH/PR/PS/LR	26-Jan	TBC
09 - 10 Feb	Antiques - Provisional	GH	10-Feb	TBC
27 - Feb -3 Mar	RYA	All Areas	02 - 03 Feb	08:00 - 18:00:00
21 - 24 Mar	Railway Modeling	GH/WH/PS/LR	24-Mar	TBC
24 Mar - 09 - April	Funfair	Pavilion Car park	28 - Mar - 07 - April	TBC
07-Apr	O/S Wedding	West Hall	07-Apr	TBC
01 - 07 May	Funfair	Pavilion Car park	04 -05 May	TBC
19 May - 14 Jun	Funfair	Pavilion Car park	24 May - 02 Jun	TBC
16-Jun	Wedding	West Hall	16-Jun	18:00 - 00:00
18 July - 10 Sept	Funfair	Pavilion Car park	19 - July - 08 Sept	TBC

7. Major future events

7.1 Knitting and Stitching 11th-14th October 2012

Knitting and Stitching has grown into one of the “must attend” events of the craft & textile season. There is something for everyone at this event from the keen amateur to the seasoned textile professional. Attendees have a wide variety of workshops to take part in; seminar’s to attend as well as the option for plenty of shopping. There is also the opportunity to have high tea in the Londesborough Room, showing how this event has embraced every area of the Palace.

Christian Radio Woman to Woman Conference 27th October 2012

A new event this year to Alexandra Palace brings women together for discussion, networking and seminars. The event will take place in the Great Hall and West Hall with other areas of the Palace used for breakout seminars and networking events. Speakers include Heidi Baker, Kym Mazelle and Lara Martin.

Rapha Super Cross Series 28th October 2012

Rapha Super Cross Series returns following last years successful event, bringing a day of super-charged cyclocross through Alexandra Palace Park. Spectators can enjoy racing of all abilities; from the best in the land to absolute beginners.

Royal College of Music Chamber Orchestra & Organ Concert 30th October 2012

The Royal College of Music Chamber Orchestra, conducted by Mark Messenger will be making its Alexandra Palace debut on Tuesday 30th October, in a collaboration with the Alexandra Palace Organ Society. Audiences will hear a selection of beautiful works for chamber orchestra and organ, performed by students from the world renowned Royal College of Music Chamber Orchestra.

Jack White Concert 2nd & 3rd November 2012

Jack White is best known as the guitarist, pianist and lead vocalist of The White Stripes who performed at Alexandra Palace in 2004 and now returns to Ally Pally on his solo tour. He is due to play two nights at the Palace, Friday night is already a sellout but tickets are still available for the Saturday.

World Darts Championships 14th December – 1st January 2013

The largest tournament in darts, the Ladbrokes World Darts Championship, returns to Alexandra Palace as 72 players from around the world compete for £1 million in prize money.

The tournament, won for the last two years by Adrian “Jackpot” Lewis, will be played over 15 days between the Christmas and New Year period, with players from over 20 countries taking part.

Play begins on Friday 14th December with the first of eight sessions involving the preliminary round and first round, with the second round also being held

before Christmas. The third round concludes on Tuesday 27th December, before the quarter-finals are split over two nights on 28th & 29th December. The semi-finals will then be played on 30th December before the finalists return on New Year's Day to compete for the prestigious £200,000 title

8. Updates from the last Quarter

8.1 Olympic Torch Relay and Evening Celebration

The free tickets for the Olympic Torch Evening celebration event at Alexandra Palace sold out within 40 minutes of being online such was the demand for this extraordinary event. The torch itself was run through the borough of Haringey starting off in Tottenham and ending with Daley Thompson lighting the cauldron on the stage in front of Alexandra Palace. The local community came out in force to line the streets and cheer on the torchbearers.

Holland Heineken House

The largest event held at Alexandra Palace in recent years and widely considered as the highest profile Olympic National House, Holland Heineken House encapsulated all things Dutch. 6000 visitors a day enjoyed Olympic events, Dutch food and hospitality and most importantly the breathtaking unique views that only Alexandra Palace can offer. With onsite television studios, radio broadcasts and a media centre there was never a dull moment. Alexandra Palace's team were exceptionally honoured when Heineken declared this House the "best so far" in its 25 year history of hosting Holland House at the Olympic Games.

Sacrilege (Bouncy Stonehenge) 10th August 2012

The inflatable replica of Stonehenge proved a huge success with over 600 people enjoying a free bounce on this highly interactive piece of art created by Turner Prize winning artist Jeremy Deller.

9. Events: Summary and Conclusions

- 9.1 APTL has managed our biggest summer programme in recent history very successfully. The focus is now on ensuring that we capitalise on the increased media coverage specifically relating to Holland Heineken House at the Olympic Games to strengthen our forthcoming programme.

10. Governance

- 10.1 There are now a number of potential candidates for us to consider to strengthen the Board in accordance with the criteria for membership approved at previous meetings. We need to do make new appointments soon because the depth of experience of our Board and its Advisory Committees will be under scrutiny by HLF in judging our bid.
- 10.2 As CE I would feel more comfortable if candidates formally proposed to the Board had already been vetted by an Advisory Panel of the Board. This will help to allay any risk of upsetting high profile individuals by proposing them only to have their applications rejected at a late stage.

10.3 If we can move forward with this idea soon I would hope to put candidates to the January 2013 Board for approval.

11. Recommendations

- a. The Board notes the events report;
- b. The Board nominates members to a governance advisory panel to consider candidates to strengthen its expertise.

12. Legal and Financial Comment

- a. The Council's Head of Legal Services has no comments on this report.

Report Title: **Report of the Finance and Resources Director**

Report of: **Nigel Watts, Director of Finance & Resources**

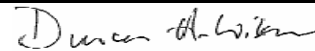
1. Purpose

- 1.1 To advise the Board of the financial results for the 5 months ended 31st August 2012.
- 1.2 To provide an update from the Finance Resources & Audit Committee (FRAC) held on 19 October 2012.

2. Recommendations

- 2.1 The Board is asked to note the financial results for the 5 months ended 31st August 2012.
- 2.2 The Board is asked to note the update from the FRAC.

Report Authorised by: **Duncan Wilson, Chief Executive**



Contact Officer: **Nigel Watts, Director of Finance & Resources, Alexandra Palace Way, Wood Green, London N22 7AY. Telephone number 0208 365 4310.**

3. Executive Summary

- 3.1 The management accounts for the five months ended 31st August 2012 are tabulated against budget at Appendix 1
- 3.2 The Trust deficit before regeneration costs was £1,091k compared to the budget of £1,065k, an overspend of £25k which will be recovered from additional gift aid. Net regeneration expenditure was £295k, £8k lower than the operating budget due to timing differences.
- 3.3 The FRAC also considered the detailed business plan for the Trust and Trading Company and the Risk register for both entities. Copies of these are provided in the restricted papers.

4. Reasons for any change in policy or for new policy development (if applicable)

4.1 N/A

5. Local Government (Access to Information) Act 1985

5.1 No specific background papers were used in compiling this report.

6. Trust Financial Results

- 6.1 The management accounts for the five months ended 31st August 2012 are tabulated against budget at Appendix 1, split between Palace, Park and Regeneration Project.
- 6.2 The Trust deficit before regeneration costs was £1,091k compared to the budget of £1,065k, an overspend of £25k which will be recovered from additional gift aid. Net regeneration expenditure was £295k, £8k lower than the operating budget due to timing differences.
- 6.3 £16k of unbudgeted cleaning costs were incurred by the palace in preparation for the HHH event. These will be covered by additional gift aid from the trading company.
- 6.4 £15k was spent by the Trust in restoration work following the Red Bull event. These costs were fully recovered by the Trading Company and will be passed on to the Trust as additional gift aid.

7. Legal and Financial Comments

- 7.1 The Trust solicitor has no comments on this report.
- 7.2 The Council's Head of Legal Services has no comments on this report.
- 7.3 The London Borough of Haringey Chief Finance Officer notes the contents of this report.

8. Equalities Implications

- 8.1 There are no perceived equalities implications

9. Use of Appendices / Tables / Photographs

- 9.1 Appendix I – Management accounts for the period ended 31st August 2012

APPCT - Management Accounts for 5 months ended 31 August 2012

		Palace & Park						Regeneration Project			
£'000		Budget			Actual			Variance	Budget	Actual	Variance
		Palace	Park	Total	Palace	Park	Total				
Income	Ap Licence Fee	-75,000		-75,000	-75,000		-75,000	0			0
	Lease Income	-24,896	-38,818	-63,713	-22,027	-45,514	-67,541	-3,828			0
	Community Events		-9,895	-9,895		-19,512	-19,512	-9,617			0
	Other	-63	-7,917	-7,979		-1,150	-1,150	6,829			0
	Organ Appeal			0	0		0	0			0
Income Total		-99,958	-56,629	-156,588	-97,027	-66,177	-163,204	-6,616	0	0	0
Expenditure	Repairs & Maintenance	279,682	184,442	464,124	265,125	172,883	438,008	-26,115			0
	Security	208,333	2,500	210,833	231,964	5,749	237,712	26,879			0
	Staff Costs	114,952	19,347	134,299	130,162	19,320	149,482	15,183	79,047	77,596	-1,451
	Legal & Professional Fees	66,667		66,667	54,367		54,367	-12,300	160,264	159,934	-330
	Insurance	112,565		112,565	109,164		109,164	-3,401			0
	Depreciation	69,579	8,223	77,802	76,977	8,223	85,199	7,397			0
	Marketing			0	248		248	248	61,744	19,268	-42,476
	Interest	32,608		32,608	32,608		32,608	0			0
	Utilities	29,617		29,617	23,897	1,174	25,070	-4,547			0
	Rates	23,873		23,873	23,900		23,900	27			0
	Software & IT	10,417		10,417	19,692		19,692	9,276	1,899	4,311	2,412
	APTL Charges	15,673		15,673	9,948	185	10,132	-5,540		851	851
	Printing and publications	3,658		3,658	3,284		3,284	-374		19,632	19,632
	Cleaning & Laundry		5,766	5,766	16,133	3,088	19,221	13,455			0
	Recharged costs			0	15,329	4,073	19,402	19,402			0
	Other	31,781	2,083	33,864	25,491	823	26,314	-7,550	395	13,423	13,028
Expenditure Total		999,403	222,361	1,221,765	1,038,287	215,517	1,253,804	32,040	303,349	295,014	-8,335
Grand Total		899,445	165,732	1,065,177	941,260	149,340	1,090,600	25,423	303,349	295,014	-8,335

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Alexandra Palace & Park Board

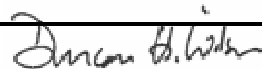
on 6th November 2012

Report Title: **Park Management Update**

Report of: **Mark Evison, Park Manager, Alexandra Palace Charitable Trust**

1. Purpose

1.1 To update the Board on a number of issues regarding management of the Park.



2. Recommendations

2.1 That the Board notes the contents of the report.

2.2 That the Board notes the advice of the Advisory and Consultative Committees and approves the proposal for Officers to conclude the Local Nature Reserve Declaration.

Report Authorised by: **Duncan Wilson, Chief Executive**.....

Contact Officer: **Mark Evison, Park Manager, Alexandra Palace & Park,
Alexandra Palace Way, Wood Green N22 7AY Tel No. 020 8365 2121**

3. Executive Summary

3.1 The report provides updates on various Park issues including awards, legacy projects following the BMX event, the proposed closure of two entrance gates, a funding package for the south-eastern corner of the Park and the cricket club improvement project.

3.2 The Advisory and Consultative Committees considered the Local Nature Reserve proposal and responded favourably. A Board resolution is required if the declaration is to go ahead.

4. Reasons for any change in policy or for new policy development (if applicable)

4.1 N/A

5. Local Government (Access to Information) Act 1985

5.1 N/A

6. Park Awards 2012

6.1 The Park was successful in a number of areas this year, namely:

- The Green Flag Award standard was achieved for the fifth year running
- The Green Heritage Award was achieved for the third consecutive year
- The Park received a silver-gilt award in the *large park* category of the London in Bloom competition.

7. BMX Event - legacy projects

7.1 The Red Bull BMX event in May 2012 was approved with the proviso that some of the income from that event would be spent directly on Park improvements. The funding has been provided in the form of extra gift-aid from the Trading Company.

7.2 Three key areas of work were identified which have otherwise been beyond the revenue budget for the Park:

- Repair and maintenance of the street lighting on the South Front, fifteen lamps have been re-cabled and re-energised. These lamps have been inoperable for around the last six years.
- Replacement of the street lighting in the Grove (southern side): The cables are faulty and columns are too widely spaced. The proposal is at the tender stage and is due to be completed before Christmas.
- Tree works to improve the views of London from the terrace. Detailed plans for this were based on the comments of the Friends of the Park and the Conservation Area Advisory Committee combined with the recommendations from a tree safety survey: there are four key objectives:
 - To remove a number of large evergreen fir trees
 - To reduce the holly bushes to a manageable size for future maintenance
 - To prune trees with structural defects
 - To remove over-grown weed trees

The council has approved the tree work notice and the work is due to be completed before Christmas.

8. Closure of Entrances

8.1 The proposed overnight closure of two gates was discussed at the meeting of the Advisory and Consultative Committee on 16th October. The committee settled on a general acceptance of a trial period with adequate notices and promotion with messages on the website.

8.2 The Muswell Hill entrance requires a new gate to be manufactured and installed. This is currently at the tender stage. It is envisaged that the scheme will commence in the New Year.

9. South-Eastern Corner of the Park

- 9.1 Haringey Council's Planning & Regeneration Service has allocated a 'section 106' funding package of £220,000 to improve the access around the Campsbourne estate and New River Village. The primary purpose of the funding is to improve east-west pedestrian and cycle linkages across the Great Northern Railway.
- 9.2 The Landscape Architect who created the landscape development plan for the 2002-07 Lottery Project has been involved in the preliminary ideas based on some of the items from the 2002 wish-list that were not implemented.
- 9.3 The principle areas of work proposed are:
- To improve the surface of the path linking Newland Road with Bedford Road
 - To upgrade the Park boundary along Newland Road, including installation of new railings and planting a hedgerow
 - To create a wildflower meadow along the periphery of Newland Field
 - To improve the boundary and linkage with the Campsbourne Play Centre
 - To address drainage issues
 - To consider the signage and street furniture
- 9.4 The main benefits to the Park and its users are:
- To improve access and visual amenity
 - To increase biodiversity by introducing new hedging and wild-flower meadows
 - To improve the connection between the Park and the Campsbourne Play Centre, as part of a longer term aspiration to open the play centre to the public as a café and outdoor play area facility.
- 9.5 These proposals were well received at the joint meeting of the Advisory and Consultative Committees on 16th October.
- 9.6 Due to the large scale of the project the intention is to engage a Project Manager to deliver the works on the Trust's behalf.

10. Cricket club and grounds improvement project

- 10.1 The Board will recall previous discussions about this project, the most recent was at the meeting on 24th July 2012. At the time of writing the planning application for the irrigation tank had not been determined. The project will commence on 5th November 2012, with works which are not subject to planning approval, and is expected to last approximately three months, weather depending. This project is now being delivered by the Council's Capital Programmes Team and is funded from the borough's *Strategic Sports Pitch Improvements Programme*.
- 10.2 The Alexandra Park Club (APC) and London Borough of Haringey will enter a Service Level Agreement to set targets for APC's sports development programme. This will ensure the funding invested will deliver benefits for the borough through increased sporting activity.

11. Local Nature Reserve (LNR)

- 11.1 Following discussions at the Board meeting on 29th June 2010 it was **RESOLVED** that the Alexandra Park and Palace Advisory Committee, and Alexandra Palace and Park Consultative Committee be requested to consider the proposal for a Local Nature Reserve and advise the Board accordingly of each of their respective views.

- 11.2 The Advisory Committee met on 7th September that year and **RESOLVED** that the proposal to designate Alexandra Park as a Local Nature Reserve be noted and supported by the Advisory Committee.
- 11.3 The Consultative Committee met the following week on 14th September and **RESOLVED** the following:
- (i) That the proposals to designate sections of Alexandra Park as a Local Nature Reserve (LNR) be supported.
 - (ii) That the Alexandra Palace and Park Board be asked to note the comments of the Consultative Committee particularly in relation to inappropriate designation of LNR status for the entire park, which could affect events being held in the Park.
- 11.4 The Board should note that the existing designations of the Park (including Conservation Area, Metropolitan Open Land and Site of Importance for Nature Conservation (SINC)) have been made in light of the use of the Palace and Park as a venue for events. The LNR declaration does not bring new restrictions to the Park beyond those that already exist.
- 11.5 Council officers are intending to declare a number of sites as LNRs concurrently. The delay since 2010 is due to the on-going negotiations with the other land owners. All the other sites are now ready to be declared so a resolution from the Board is needed.

12. Recommendations

- 12.1 That the Board noted the contents of the report.
- 12.2 That the Board notes the advice of the Advisory and Consultative Committees and approves the proposal for Officers to conclude the Local Nature Reserve Declaration.

13. Legal Implications

- 13.1 The Council's Head of Legal Services has no comments on this report.

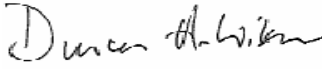
14. Financial Implications

- 14.1 The Red Bull legacy work and s106 funding package are welcome extra funding for the Park.
- 14.2 The LBH Chief Financial Officer's comments have been incorporated into this report.

15. Use of Appendices/Tables/Photographs

- 15.1 N/A

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Alexandra Palace & Park Charitable Trust Board		on 6th November 2012
Report Title: Regeneration Update		
Report of: Duncan Wilson, Chief Executive, Alexandra Palace Charitable Trust		
1. Purpose		
1.1	To update the Board and provide a summary of progress since the last Board meeting on 24 July 2012	
1.2	To share with the Board a proposal for a Major Grants bid to the Heritage Lottery Fund, further to the discussion at the 20 September regen, project workshop which many Trustees attended	
2. Recommendations		
2.1	That the Board notes the contents of the report	
2.2	That the Board approves the proposal for a Major Grant bid to the Heritage Lottery Fund and authorises the Chief Executive to sign the relevant documentation subject to the Chairman's approval on behalf of the Board	
Report Authorised by: Duncan Wilson, Chief Executive 		
Contact Officer: Duncan Wilson, Chief Executive, Alexandra Palace & Park, Alexandra Palace Way, Wood Green N22 7AY Tel No. 020 8365 4340		
3. Executive Summary		
3.1	The report outlines progress with the regen. project and a summary of the proposed bid to the HLF for refurbishment of the BBC studios, the East Court and the Theatre.	
4. Reasons for any change in policy or for new policy development (if applicable)		
4.1	N/A	
5. Local Government (Access to Information) Act 1985		
5.1	N/A	

6. Public Consultation: final results

- 6.1 Further to the draft findings tabled at the last meeting, the final results from the consultation were released on 25 July with a total of 2,194 responses received during the six week consultation period. The survey, which was available online and in hard copy format, invited respondents to give

feedback on plans and design concepts for regenerating Alexandra Palace, based on the strategic masterplan developed by Farrells. The question of 'Overall, I am supportive of the Alexandra Palace proposal' resulted in over 87% responding either as 'strongly agree' or 'agree'.

Respondents ranked the following aspects of the masterplan as priorities in the following order:

- Upgrading the main event Halls
- Opening up the Victorian Theatre
- Opening up the old BBC Studios
- Opening up the basement
- Building a hotel in the Palace.

To maximise the reach and response of the consultation:

- 21,000 consultation booklets were printed and distributed
- Details of the Regeneration plans and consultation survey were emailed to over 8,000 business and consumer contacts
- Feedback was requested via FaceBook, Twitter and the AP website
- A public exhibition was set up and available for viewing during the consultation period
- Presentations and meetings were held with local resident groups, local businesses, schools and community groups to outline and discuss our plans
- Three specialist workshops were scheduled to engage with minority groups within the Borough
-

A summary of the consultation results have been added to the Alexandra Palace website - <http://www.alexandrapalace.com/about-us/regeneration/consultation-results/>

Independent communications consultants PPS reviewed the responses and prepared a detailed report on the consultation results, which is available for download from the Alexandra Palace website - <http://www.alexandrapalace.com/about-us/regeneration/downloads/>

Of the people who responded to the survey, a total of 82% had visited Alexandra Palace in the last year, with 32% having visited more than eight times in the last year. Importantly, when people were asked if they were more likely to visit the Palace if the proposals are realised, 79% of respondents agreed they would visit more frequently.

7. Approaching the market

We are procuring professional advisers to help us gain further market intelligence and frame our approach to the market and intend to appoint in the next month or so, depending on LBH procurement requirements and timetables. We will be recruiting from the Home and Communities Agency framework, which will speed up the process and gives us a wide choice of well known specialists. An oral update on progress will be provided at the Board Meeting.

8. Master plan progress and update

Farrells are proceeding with RIBA B design (essentially outline design, costed so that decisions can be made about lead design assumptions). They have been concentrating on the HLF scheme areas (refer 4. below), but have also done further work on the hotel plans for the Panorama Room site. The presence of a hotel would undoubtedly enhance our events offer in areas such as conferencing and exhibitions, and would impact significantly and positively on the local economy in terms of jobs and tourism.

Farrells' design assumption is that the ground floor of the hotel would be mainly occupied with publicly accessible rooms, eg cafes and dining rooms, to allow permeability onto the Terrace. On this basis and assuming that no significant intrusion is made onto the skyline they estimate that about 130 rooms with dimensions of a "Four Star" quality could be provided. If a further storey were added set back from the frontage this would increase to 180 rooms. Plans and elevations are attached and will be shown at the meeting. It remains to be seen if either of these proposals is attractive to the market, and of course whatever was done would need planning and listed building consent. Further work on this scheme and the refurbishment of the events arenas such as the Great Hall will be brought to the next appropriate Board Meeting.

Plans illustrating work to date will be presented at the meeting.

9. HLF bid

A copy of the final Pre-Application Enquiry, submitted to the HLF on Friday 14 September 2012, is attached for ease of reference, although it has also previously been circulated. We are in the process of finalising the details of our Round 1 Application, which will be submitted to the HLF by Friday 30 November 2012. Key parameters are set out below. The SAC and CC both backed the bid at their meeting on 26 October, although there was some discussion of the details of the scheme in Studio B.

In summary, we are proposing to bid to the HLF in respect of the following:

- (i) **Refurbishment of the East Court** (Ice Rink foyer) as the main public approach to the East end of the building, where visitors will gain access to the Theatre, the BBC Studios on the first floor of the SE Wing, and of course to the ice rink. The cost is proportionate to the size of the space (£2.4m plus fees and contingencies), balancing the need for economy with the need to transform the appearance of this critical area. The present state of the East Court is disappointing; on entry you are faced by a monolithic ticket office on a scale inappropriate to the grandeur of the room, and then by little-used attractions such as soft play and mini-golf. The ice rink beyond is not very noticeable. The historic fabric is in a poor state in places, with cornices missing, broken roof panes and leaking gutters. Two side pavilions were never roofed in glass but had temporary canvas roofs in the 1980s, now at the end of their lives. The floor is very uneven and there is a very energy inefficient and ineffective heating system and it is difficult to ventilate the space. The design proposals would deal with these issues, demolishing

the ticket office. Levelling the floor and creating a more appropriate welcome and sense of scale would make the place work better as creating a good first impression of Alexandra Palace. We are proposing a large scale model of the Palace as a centrepiece of an area in one of the side pavilions which will tell the overall story of Alexandra Palace, with a cafe area on the opposite side, the whole defined by plants and a water feature. There will also be enough space for occasional temporary exhibitions.

- (ii) **Refurbishment of the Theatre** is the most expensive part of the project at c £4.8m plus fees and contingencies. This is because the Theatre is in a very poor state, with the ceiling and wall plaster unstable and at least one of the roof trusses and the balcony in need of reinforcement. New services consistent with “flexible use” will need to be provided. That will give us the best chance of accommodating as many different uses as possible, which is the key to a successful business plan. So for example we want to accommodate not just theatrical performance and classical/pop concerts but also cinema including silent film shows, awards ceremonies, dinners, weddings and conferences. To achieve this flexibility, moveable seats and a flat floor are essential. Theatre in the round would then be possible, brought forward into the stalls with a thrust stage and closer to the balcony. This would help to get round the acoustic issues and the distance from the stage for which theatre was a well known drawback in its heyday. Our views on this have been influenced by the experience of our theatre designers Bonnar Keenlyside, and independent views expressed by potential partners such as English National Opera and Complicite.
- (iii) **Back of House facilities and the Theatre Foyer** must also be refurbished if we are to create a sustainable business. We also need to create new public lavatories for the audience, and a bar. Areas such as the NE tower and the pavilions leading off the Theatre foyer are in a very poor state. The cost is estimated at £3.5m plus fees and contingencies
- (iv) **The BBC studios and the South East Wing** are an extremely important part of the bid. The strategy is to develop them as a visitor attraction for guided tours and as the focus of our learning programme. We cannot feasibly refurbish the whole SE wing, so we now recommend refurbishing both Studios A (Marconi) and B (Baird) on the first floor, with the small back of house rooms between them, at £4.3m plus fees and contingencies. An exhibition telling the story of TV at Alexandra Palace would take up Studio A, with Studio B as a projection room for TV film archive or occasional use for other functions. Studio B would be much more flexible if the inner and outer window openings were both unblocked and the room were re-glazed, but with blackout blinds so that it could be turned back into a studio easily. However that would interfere with its historic authenticity. English Heritage’s views would be significant. Further research is needed before a firm decision is made on this aspect of the scheme.

The rooms in between Studios A and B would be used as a Learning Centre, effectively replacing previous plans for the Transmitter Hall (now omitted). The Learning Centre would incorporate teaching space, and space for classes to assemble, leave coats, and eat packed lunches

- (v) **External facade.** We would unblock all the outer eastern colonnade openings, to reinstate symmetry with the western colonnade. Limited unblocking of the inner colonnade openings is still under discussion, pending historical, cost and practical considerations.
- (vi) **Landscaping and architectural lighting.** There would be some re-landscaping of the approach to the Palace from the east, particularly in front of the Theatre foyer. An energy efficient architectural lighting scheme is included for the SE elevation and the BBC tower and mast.
- (vii) **Activity plan.** In addition, the HLF expects a costed “activity plan” to demonstrate that we are reaching out to communities and groups beyond our “normal” visitor and resident profile, making good use of the new facilities.. To implement this we have applied for £700k over five years to fund an additional Learning Officer, Archivist/Curator and Volunteer Co-ordinator. Other activities which this budget would support include fundraising and project management. There will also be an archives and a digitisation programme to draw on the TV and Theatre archives held by bodies such as the APTV Society and make them available digitally.

The overall cost plan provides for professional fees (15%) to implement the scheme, contingencies (10%) and inflation (7%). It assumes that all VAT is recoverable. There are provisions against major but un-quantified risks such as asbestos removal.

10. Programme Timescales

The HLF bid timescale is tightly circumscribed by HLF. We have to submit by end-November for a decision on our Stage 1 bid in April 2013 – which will essentially be a decision “in principle” . We would then need at least another year for the preparation of a Stage 2 bid, to RIBA Stage D design level. If successful at Stage 2, we would then need to tender the construction project, which would mean a start on site at the beginning of 2015 and completion in late 2016. We would need to have raised up to £6.7m in matched funding by the end of 2013.

The timetable and process for the offer to market is much less certain. However we should be prepared to wait for the right developer/operating partner, and the right economic climate for such a significant investment, which may take time.

11. Cost

The total cost is estimated by our QS Mott MacDonald at £23.2m, divided into a Development phase of £1.3m (April 2013- March 2014) and a Delivery phase of £21.9m (April 2014-end 2016). After consultation we are asking HLF for £16.5m of this total cost, which would be an exceptionally large grant if successful. But it is an ambitious programme which would transform Alexandra Palace’s public, community and cultural offer. The match funding requirement would therefore be £6.7m. At this stage the Trust would only have to commit to raising the match funding element for

the Development phase, i.e. c £350k, which should be coverable within the existing provision for Regen. In 2013-14 if necessary.

We will endeavour to raise match funding for the project from private trusts and donors, and we will be asking the Borough for a contribution should we be successful with our Stage 1 bid.

12. Recommendations

- 12.1 The Board notes the report and approves the detail of the bid for £16.5m from HLF and the matched funding requirement of up to £6.7m, authorising the Chief Executive to submit the full bid documentation on this basis subject to the approval of the Chairman on behalf of the Board.

13. Legal and Financial Comment

- 13.1 The Council's Head of Legal Services has no comments on this report.

14. Financial Implications

14.1 Comments of Haringey Council Chief Finance Officer:

- (i) Any project of this scale needs to have strong project management and the approach to this will require careful consideration and appropriate resourcing.
- (ii) The project cost of £23.2m will need to include adequate contingency sums. It is noted that the HLF bid is for £16.5m leaving £6.7m (if 100% of the bid is awarded) to be found from match-funding.
- (iii) The Trust should note that the Council had not made any decision regarding revenue funding levels for 2013/14. So no firm position can be taken regarding the ability to fund the £350k referred to in para 11.

15. Use of Appendices/Tables/Photographs

- 15.1 HLF Pre-application enquiry
15.2 Drawings and plans (as presented to SAC/CC)



Heritage Grant Pre-Application

Notes

Please use this short form to tell us about your project idea; this pre-application form is a good way of getting feedback from us before you start work on a full application. The pre-application form is not part of the assessment process.

We support projects that relate to the national, regional or local heritage of the UK.

To receive a grant your project must:

- Help people to learn about their own and other people's heritage.

Your project must also do either or both of the following:

- Conserve the UK's diverse heritage for present and future generations to experience and enjoy.
- Help more people, and a wider range of people, to take an active part in and make decisions about heritage.

Our website holds a range of examples of projects we have funded to help you see how other projects have met our aims.

Fill in this form as fully as you can but do not worry if you do not have enough information at this stage to answer all the questions.

When we receive this form, we aim to contact you within 10 working days.

What is the title of your project?

Alexandra Palace: Reopening of Theatre and BBC Studios

Reference number

HG-12-05612

Section One - Your Organisation**Your Organisation****1a Name and address of your organisation**

Name of your organisation Alexandra Palace & Park Charitable Trust

Address of your organisation:

Address line 1 Alexandra Palace Way

Address line 2

Address line 3

Town / city London

County

Postcode N22 7AY

Main contact**1b Details of main contact person**

Name Anne Kaiser

Position of main contact person Regeneration Programme Manager

Is the main contact address the same as 1a?

Yes

Daytime phone number (inc area code) - this should not a mobile number. 0208 365 4366

Mobile number (optional) 07403 548 108

Please tell us your preferred contact number

Email address anne.kaiser@alexandrapalace.com

1c Are you a not-for-profit organisation? Yes

1d Where did you hear about the Heritage Lottery Fund? Please pick from list or specify below.

Previous application/ pre-application to HLF

Section Two - The Heritage

What is the heritage that your project will focus on and why is it important?

INTRODUCTION

Alexandra Palace (AP) was first opened in 1873 as a private commercial venture to provide a "People's Palace" for public entertainment and recreation, a concept that followed on from the success of the Great Exhibition of 1851 and the development of Crystal Palace in 1865. Although twice rebuilt after fire damage, firstly in 1873 within two weeks of opening, and again in 1980, AP represents a rare survival of this building type. AP is located in a Conservation Area - the Palace is Grade II listed with English Heritage and the surrounding 196 acre park is also Grade II listed on the English Heritage Register of Parks and Gardens. AP is the largest building on English Heritage's Buildings at Risk Register and the AP Theatre is on the Theatre Trust's Theatre Buildings at Risk Register. Public access to the Palace is guaranteed under Act of Parliament. AP is an un-missable landmark on a prominent hill above north London, providing spectacular views from east to west. The surviving BBC studios are of national significance as the place where world's first high definition television broadcast took place in 1936.

THE PROJECT

Our project focuses on two key periods within the history of AP - the surviving but derelict Victorian Theatre, and the original BBC television studios, unused since 1981. It aims to revive and restore these two nationally important historic spaces and open them for regular public use for the first time in over 40 years. The strategy for regeneration of the entire Palace is based on a masterplan design by leading architects Farrells and a Conservation Management Plan by conservation architects Donald Insall Associates. The Theatre and BBC Studios fit within this strategic framework and are the most significant surviving historic interiors of AP, also providing the greatest potential learning and community benefits. Given its age and history, AP currently has little or no structural environmental and sustainability features. As part of the master planning and design process, we will seek to make improvements in this area, within the limitations of the building.

THEATRE

The structure of the Theatre dates back to 1875 and originally featured two tiered balconies, although the second tier balcony was removed to make way for a cinema projection box in 1907. Of particular international significance is the original Victorian wooden stage machinery below the stage. The Theatre's original capacity of 2,500 will be reduced to around 1,200 after the proposed refurbishment works. In 1936, the Theatre was leased to the BBC as part of the development of the first TV studios in the South Eastern Wing of AP. It was later used by the BBC as a rehearsal room, a workshop for stage sets and a costume store until 1981.

BBC STUDIO

The project proposes to refurbish Studio A, the former Marconi-EMI television studio and the Transmitter Hall below. These two historic spaces have been largely untouched since the BBC left. Their restoration would bring to life the early history of AP as a place of popular entertainment and the place where television broadcasting was born. This will be the main theme of our learning and community engagement programme, together with the earlier history of the Theatre. We are in early discussions with the AP Television Group (APTG) and other partners to bring the interpretation of the BBC Studios and Theatre space to life. The APTG collections, currently housed in Studio A, include a reconstruction 1930s studio set, a collection of studios cameras and television sets dating from the 1930s-1980s, and other associated TV broadcasting equipment. APTG's fellow organisation, the Alexandra Park Television Society (APTS), has a significant holding of undigitised material from the 1930s onwards and a range of film footage from early shows. We have agreed a partnership, in principle, which would allow AP to access this archive in digital form, both online and onsite. We are at an early stage of discussing with the BBC whether we could access early television archive footage to be used as part of our learning programme. We have also had initial discussions with a range of potential partners, including Bruce Castle (Haringey's local history museum) which holds archives and objects relating to AP and the National Media Museum in Bradford, with whom we are discussing loans of material and the provision of curatorial advice.

THE LOCAL AREA

Alexandra Palace is located within the London Borough of Haringey and over 50% of its residents are from ethnic minority backgrounds. It has a young population with over half aged under 35 years. Haringey is one of the poorest boroughs in the country with pockets of extreme deprivation in the east. It is the 13th most deprived borough in England and the 4th in London. The three mile catchment area immediately around AP has 411,836 residents and is very mixed, with nearly 31% of the population being classed as economically inactive. Whilst there are areas of wealth and well-educated professionals in the catchment, over 20% of

residents are classed as low income.

AP AND THE COMMUNITY

AP is an important and prominent amenity to the local area, with an estimated one million visitors each year. Of these, in 2011/12, over 400,000 attended a range of events held the Palace, including exhibitions, live music events, weddings, corporate awards, banquets, film shoots, conferences, charity events and live sporting events. Events in the Park include the regular Farmers' Market, the Moscow State Circus, YMCA Fun Run, BMX competitions and Nightrider cycling events. The Ice Rink attracts over 120,000 visitors a year, through a combination of leisure and club activities that are targeted towards young people, students and families. While the Park and some areas of the building are open to the public daily, the Studio and Theatre are currently accessed by appointment only, during the annual London Open House programme, and special events held several times a year. Open House attracts nearly 1,000 people each year, whilst special events, such as the celebration of 75 years of television attracted 1,400 people over two days, demonstrating the depth of interest in the Studio and Theatre. These events are staffed by volunteers from the AP Television Group and Society and by the Friends of AP Theatre. We regularly receive enquiries about greater access to the BBC Studios and Theatre both directly and via our Friends groups, which suggests that there would be strong demand for regular tours on a more frequent basis. During our recent public consultation on the broader AP regeneration plans, 63% of respondents ranked the reopening of the Theatre as their first and second priority, whilst 37% wanted to see the BBC Studios re-opened to the community.

PUBLIC CONSULTATION

In June/July 2012, the Trust conducted a public consultation exercise across North London, asking local residents and businesses, Palace and Park users, and a range of community stakeholders to contribute their feedback on the AP masterplan and regeneration proposals. Consultation information was circulated through a range of hard copy and on-line resources (from our website and iPad interviews) to reach the widest possible audience. The consultation included an on-site exhibition at AP, targeted email shots to our visitor and community databases, hard copy mail shots, distribution through local libraries and schools, and an on-line survey. A total of 2,146 questionnaires were completed, with 21,000 brochures distributed across the local area to residents, council channels, community groups and businesses. 88% of the respondents were local to North London and 25% of respondents were from ethnic minority communities. The results indicated that 32% of respondents had visited AP between one and three times each year, whilst over 30% had visited on more than eight occasions. Feedback during the consultation evoked much passion and enthusiasm - from the scale and prominence of the building, to personal and childhood memories of historic events and associations. Overall, 87% of respondents supported the broader regeneration plans, and prioritised the redevelopment of the Theatre and BBC Studios. During the consultation period, the regeneration section of our website received over 5,600 detailed views and home page traffic totalling 70,000 users.

LOCAL SUPPORT

A diverse range of groups and individuals are passionate about the heritage and future of the site. With over a million annual visitors to the Palace and Park, we work closely with special interest groups and local government representatives, many on a voluntary basis, to ensure we remain engaged with the community and improve the programmes and services available. Groups with whom we meet regularly include APTS/APTG, Friends of AP Theatre, Friends of the Alexandra Palace Organ, Friends of Alexandra Park and Hornsey Historical Society, as well as a range of community, schools and local resident groups.

Recent examples of AP's community engagement work include:

- working with, Exposure, on specialist video clips covering the Olympic Torch Relay and Sacrilege community event
- offering complimentary tickets to Haringey residents to attend the Holland Heineken House event - the official Dutch cultural house during London 2012
- managing corporate volunteer groups to undertake activities in the Park, including fence repairs and painting around the Lake
- working with Hampstead School of Art to create an art exhibition in the Palm Court

Our governance structure also involves engagement with a wide range of local groups through the Statutory Advisory and Consultative Committees, whose advice on important issues is considered by the Trust's Board.

Section Three - Your Project

3a Is the address of your project the same as the address of your organisation?

Yes

3b What are the aims of your project?

The aim of the project is to restore and open up spaces in the Palace not seen for generations and engage the community in their sustainable future. In support of this we will:

- (i) restore the historic fabric of the Theatre and surrounding areas to enable its use as a multifunctional space, for community and learning programmes, concerts and other theatrical and commercial events
- (ii) restore and convert the former TV Studio A and adjacent rooms as a visitor resource and a base for the Palace's expanded learning programmes incorporating exhibits and historic objects bringing the technology and digitized archive footage of early television to a modern audience
- (iii) establish learning, community engagement and volunteering programmes by building up partnerships with local and London wide cultural partners, making use of both the Theatre and Studios.

3c What capital work do you plan to do (if any?)

Capital work is work to a physical object, like conservation of a ship, repair work to a building, restoration of a natural habitat etc.

Currently both spaces are unused and in near-derelict condition. Through the capital works we will:

- refurbish the existing glazed East Court as a public welcome space, linking the Theatre and the BBC Studios with interpretative displays, using loaned material and copies that show the role that the Theatre and BBC Studios played in providing entertainment
- refurbish the BBC Studio A and ground floor Transmitter Hall to form a new visitor experience, targeted at guided tours and school parties, explaining the early history of television in a creative and interactive way, and giving on site access to archives relating to the early history of television
- provide a BBC foyer space off the East Court with a new lift to provide access to the BBC Studio on the first floor
- restore the interior finishes of the Theatre (where they survive), taking a minimal intervention approach to retain its historic heritage fabric and character, but fitting out to modern standards consistent with its planned use as a community and commercial venue
- preserve the Victorian stage machinery
- restore, refurbish and provide new rooms both behind the stage and in the NE tower, for use as green rooms, storage rooms to meet the needs of its community and commercial use
- provide a secure area for the storage of archive material.

We have researched the options for the Theatre extensively through specialist theatre consultants Bonnar Keenleyside and through the strategic spatial Masterplanning process undertaken by Farrells.

3d What activities do you plan to do?

Activities are the ways you incorporate learning and participation opportunities in your project such as workshops with schools, open days and community events etc.

The interpretative, community engagement and learning programmes will focus on reinstating the site as the 'People's Palace' and are likely to comprise:

- interpretative and innovative displays in the BBC Studios and East Foyer about the history of British broadcasting and the wider history of AP
- Cross curricular formal education programme inspired by the history of the Theatre and Studios
- bespoke formal education programmes for SEN groups
- run school INSET days to promote to teachers the opportunities available at AP
- outreach education sessions via conference call and/or available to download on the website
- resources for breakfast and after school clubs
- tailor made community projects targeted at specific groups run in partnership with other third sector organisations
- community engagement projects inspired by the heritage of the venue, including an oral history project to capture people's memories and stories about their leisure time at AP, in addition to the people who worked here
- informal activities, including activity trails, summer holiday activities and drop-in workshops for families

- Arts Award for young people aged 7 - 25
- a range of apprenticeships and work placements (NQT, BA, and MA) during and after the refurbishment of the Theatre and BBC Studios in partnership with others (from technical to event services to administration)
- a volunteering programme to support the front and back of house operation of the Theatre and BBC Studios
- sorting, cataloguing and digitising the APTS archives and other associated material held by partners
- a dedicated area of the website with on-line exhibitions, trails, downloadable resources and archive catalogue for all audiences to use both on and off site
- tours of the BBC Studios
- tours of the Theatre and its Victorian stage machinery
- talks about the history of the Theatre and Studios, linking with the social history of the local area and Greater London.

It is intended that East Court will be open to the public seven days a week and will contain 2D displays interpreting the wider history of AP and the history of the BBC Studios and Theatre, plus a cafe. The Studios and Theatre will be open at the weekends to the general public and by appointment for tours during weekdays. The initial focus will be on delivery of our full-time schools and community engagement learning programmes.

We are also aiming to recruit an archivist to sort, catalogue and digitise the APTG and APTS archives and work closely with the BBC and other national bodies, such as the National Media Museum in Bradford to increase access to their archives through a facility at AP and to share information

A proposed learning programme covering the history of AP and Park has been devised by the Building Exploratory and will be trialled by our newly appointed Learning Officer from later in 2012. It is focused on formal learning and her work is designed to begin to build awareness and audiences for the refurbished venue. In our bid we are proposing to appoint a Community Engagement Officer and their focus will be informal learning - engaging communities on and off site.

Our apprenticeships and training programmes will be central to our mission and we will work with local organisations, such as the Bernie Grant Arts Centre, to implement the programme. We will work with other local organisations, such as Exposure, a local award-winning youth media enterprise to develop photographic, filming a digital media projects around the BBC Studio and Theatre, like the recent Haringey Uncovered project.

Following our extensive public consultation on the Masterplan in May and June 2012, we are now embarking on further more detailed community group consultation to find out how those groups would like to use AP and to build new partnerships to deliver practical and comprehensive community engagement with AP.

We plan to strengthen links with existing voluntary groups with the appointment of a Volunteer Coordinator, and to recruit new volunteers from target audiences to help with the delivery of learning and community programmes, development of the interpretation and website, digitising the archives, delivering tours and welcoming the public at weekends. We have already been approached by The Challenge Network, which is a national network supported by the National Citizen Service (NCS) that aims to bring together 16 year olds from diverse backgrounds and through a set of challenges, prepare them to design and deliver a project that will make a difference in their community.

We are in preliminary discussions with a number of arts and theatre groups, including the English National Opera, regarding potential use of the Theatre space, including short and medium term tenancy, rehearsal scheduling and specialist/seasonal productions that will take advantage of the unique facilities available. We are also looking to explore ways to increase community engagement and learning opportunities through existing and future clients/tenants (such as the Bernie Grant Arts Centre and Mount View Academy of Theatre Arts) to link the Theatre and Studios, utilising existing programmes as well as developing new relationships that offer interest and relevance to the North London area.

The APPCT will continue to be landlord of the rest of the Palace and Park site, including the Great and West Halls as event spaces, a possible hotel development on the site of the Panorama Room, and the existing community Ice Rink. There are possibilities for cross-fertilisation and economies of scale in running commercial and community events in the Theatre in tandem with these other spaces. This will deliver economies of scale in running the place (eg facilities management, security) and creative opportunities for

partnerships, eg between hotel and Theatre, and for smaller concerts than we can provide for in the 10,000 capacity Great Hall.

Section Four - Project Benefits

4a What benefits will your project bring to heritage?

The project will enable increased public access to the most significant surviving historic parts of AP, being the Theatre and the Studios, by restoring them to good condition with minimal intervention to preserve the maximum amount of fabric and ambience.

4b What benefits will your project bring to people?

Our project will:

- help more people to learn about and enjoy the heritage of the Theatre and BBC Studios through imaginative interpretative displays on site and on line, plus trails and downloadable resources, talks and tours
- inspire young people through our formal education programmes to learn about the history of film, photography and theatre
- enhance the skills of the people who are taken on as apprentices to help us restore and maintain the Theatre and Studios
- engage more people with the work of the Trust in general and the Theatre and Studios in particular, through our volunteering and work placement programmes
- provide people with access to archival material about Alexandra Place
- strengthen our existing partnership with the various Friends groups on site
- enable the Trust to work effectively with a range of local regional and national partners.

Section Five - Project Development and Delivery**5a When will your project start and how long do you expect it to last?**

If we attain a Round 1 pass in April 2013, our Round 2 bid will be submitted in December 2013. If we then attain Round 2 approval in March 2014, procurement is expected to be completed by September 2014 and, with an 18 month construction phase to follow, completion of the construction phase of the project is expected by March 2016.

Section Six - The Costs Of Your Project

6a How much is your project likely to cost? If you know, tell us what the major costs are likely to be.

Our project is estimated to cost £23.155 million.

The breakdown of major costs is as follows:

DEVELOPMENT PHASE - April 2013 to March 2014

Professional fees	£1,100,000
Staff costs	£100,000
Recruitment	£15,000
Other costs	£50,000
Total Development:	£1,265,000

DELIVERY PHASE - April 2014 to March 2016

Professional fees	£1,800,000
Capital works	£17,400,000
Activity costs	£700,000
Contingency	£1,990,000
Total Delivery:	£21,890,000

Total Project Cost: £23,155,000

6b How much are you likely to request from us? (£)

£16,500,000

Additional Information**Information about your organisation**





This part of the form aims to collect the information we need to report on funding. We will not use this information to assess your application.

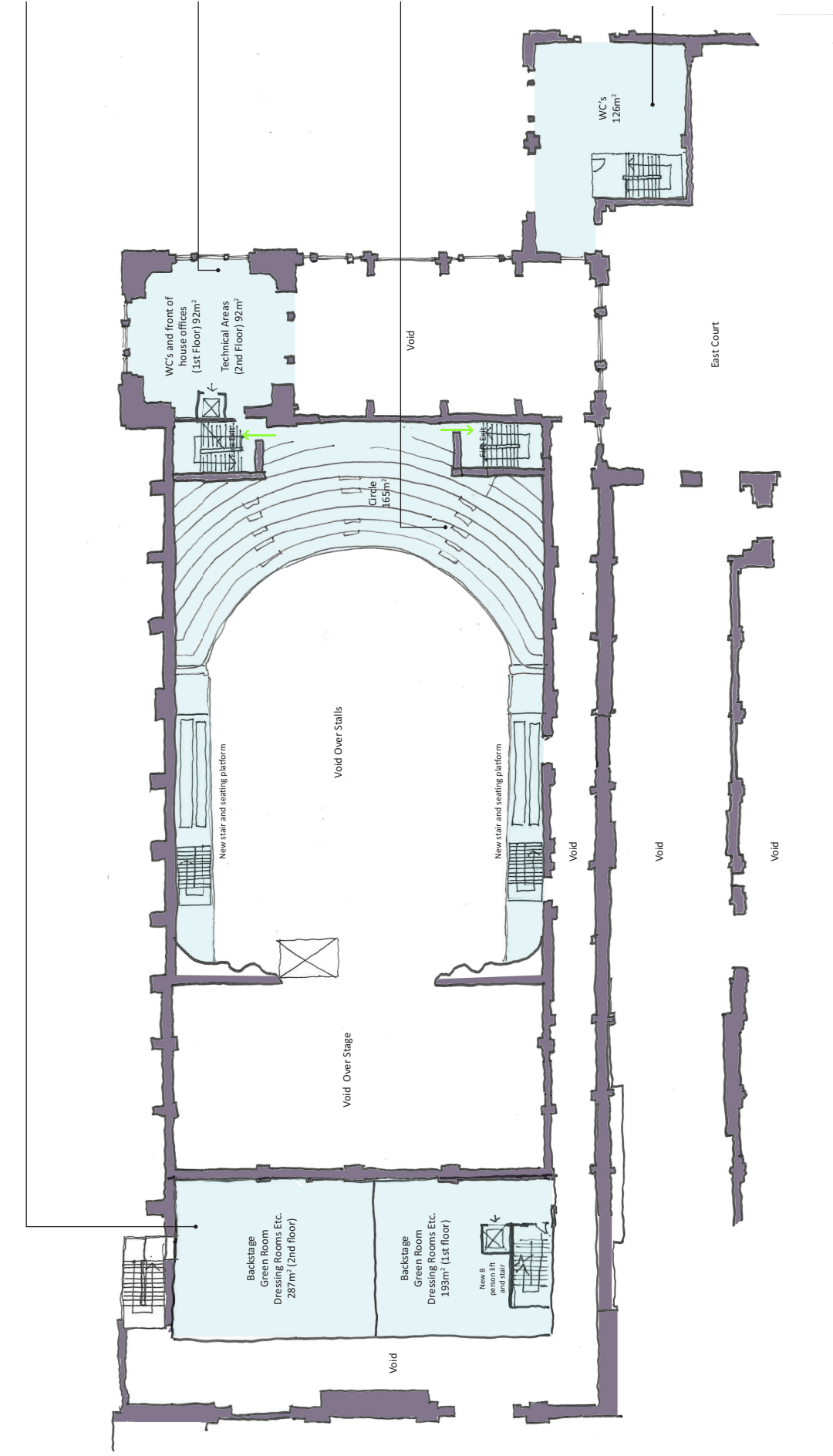
If your organisation will specifically benefit a particular group or groups of people, tell us which groups by ticking all relevant boxes below.

If your organisation represents a wide range of people and does not specifically represent any particular group, tick this box only.

✓

Key

-  Demolitions
-  Existing fabric
-  New Walls
-  Area of upgrade



New accommodation behind stage

Floor	Carpet
Walls	Blockwork, skimmed and decorated
Ceiling	Plasterboard skimmed and painted
Doors	Doors to be added where required for fire protection
Lighting	Office standard lighting throughout

Tower

Floor	Carpet / Ceramic tile in WC's
Walls	Blockwork, skimmed and decorated
Ceiling	Plasterboard skimmed and painted
Doors	Doors to be added where required for fire protection
Lighting	Office standard lighting throughout

Stalls

Floor	Carpet
Walls	Remain as existing Acoustic panels to be added TBC by acoustic engineer
Ceiling	Remain as existing Acoustic panels to be added TBC by acoustic engineer
Doors	Doors to be added where required for fire protection
FF&E	New removable theatre seating to be added to theatre consultants spec

WC

Floor	Ceramic tile
Walls	Remove redundant services, make good, repaint white
Ceiling	Remove redundant services, make good, repaint white
Windows / Doors	Demolish blocked up original openings add new windows
FF&E	All new fixtures and fittings required. All new services required

TO BE READ IN CONJUNCTION WITH AMPC DRAWINGS



First/Second Floor
 Scale: 1:200 @ A2
 Theatre - Masterplan Positive Scheme Study
Alexandra Palace Theatre & BBC Studios HLF Bid

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Theatre

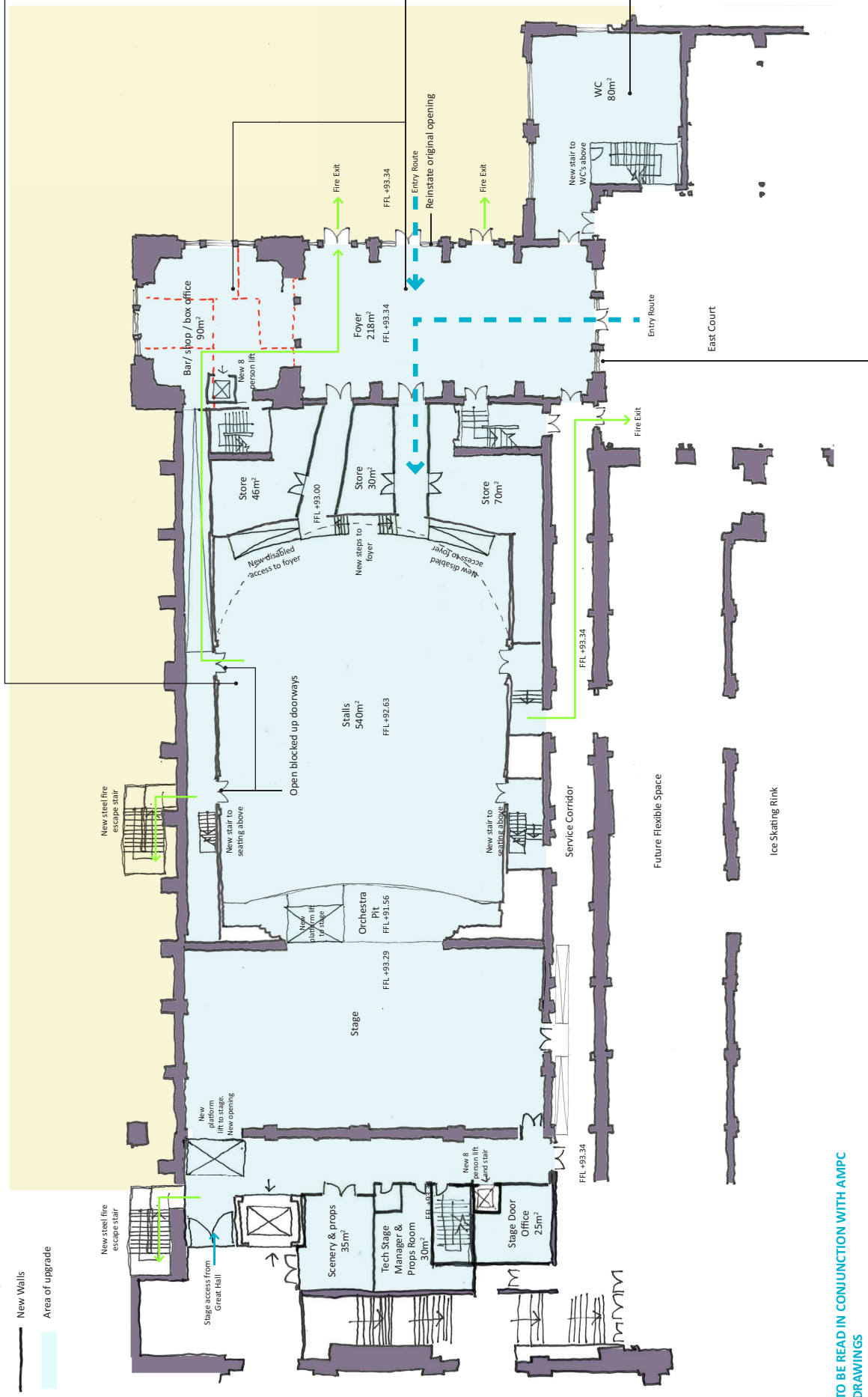
Floor	<p>Timber Finish</p> <p>Floor structure options:</p> <ul style="list-style-type: none"> As existing with additional steel/timber strengthening New flat concrete construction on support to suit New flat timber construction on support to suit Mechanised floor with additional bleacher seating to rear
Walls	<p>Remain as existing</p> <p>Acoustic panels to be added TBC by acoustic engineer</p>
Ceiling	<p>Remain as existing</p> <p>Acoustic panels to be added TBC by acoustic engineer</p>
Doors	<p>Doors to be added where required for fire protection</p>
FF&E	<p>New removable theatre seating to be added to theatre consultants spec</p>

Lobby & Bar

Floor	<p>Stone Tiles</p>
Walls	<p>Remove redundant services; make good, repaint white</p>
Ceiling	<p>Remove redundant services; make good, repaint white</p>
Windows / Doors	<p>Demolish blocked up original openings add new glazed doors</p>
FF&E	<p>New bar to be added</p>

WC

Floor	<p>Ceramic tile</p>
Walls	<p>Remove redundant services; make good, repaint white</p>
Ceiling	<p>Remove redundant services; make good, repaint white</p>
Windows / Doors	<p>Demolish blocked up original openings add new windows</p>
FF&E	<p>All new fixtures and fittings required. All new services required</p>



Enlarge openings back to heritage structure

Key

- - - - - Demolitions
- Existing fabric
- New Walls
- Area of upgrade

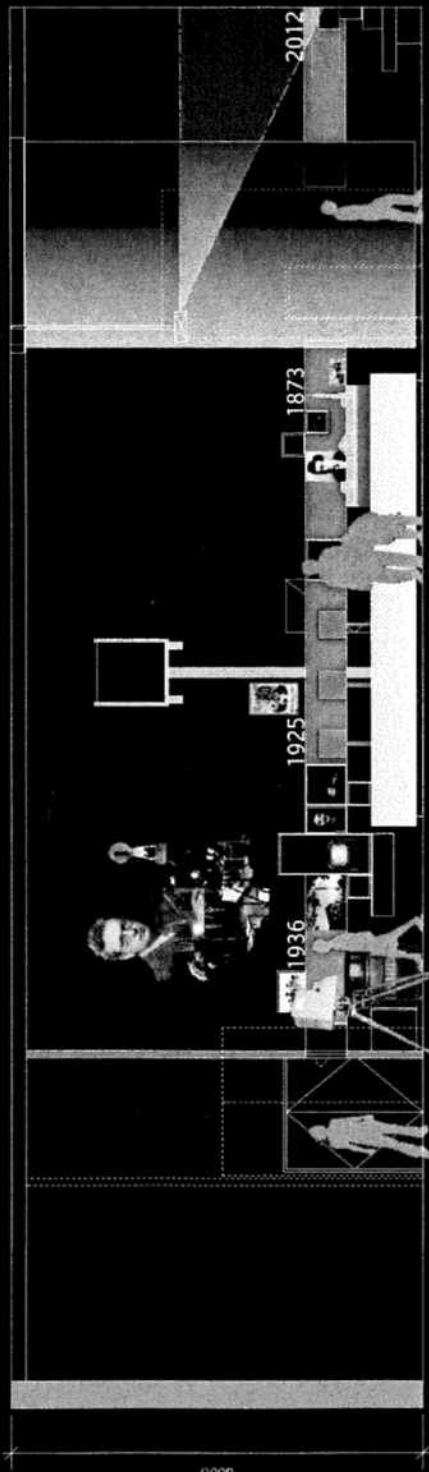
TO BE READ IN CONJUNCTION WITH AMPC DRAWINGS



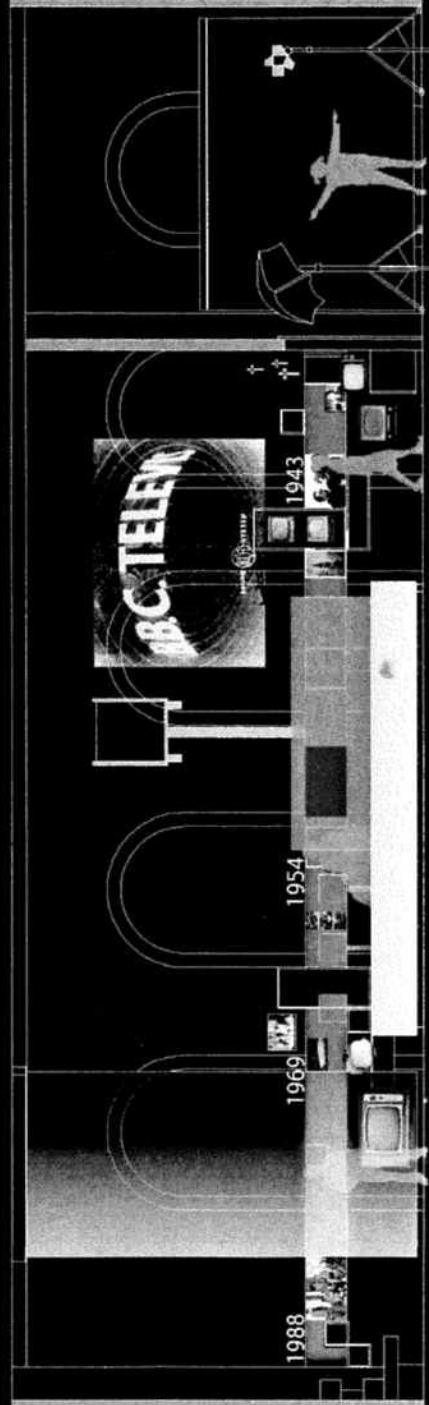
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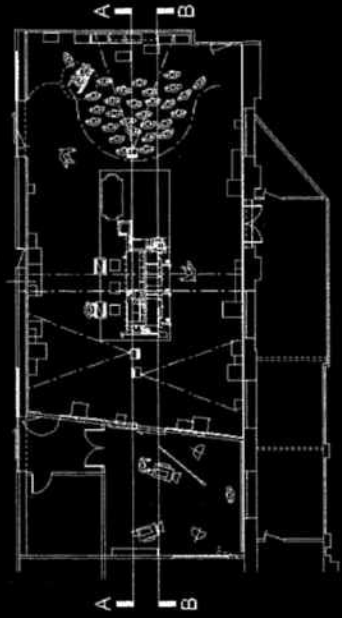
- 1. Do not scale from this drawing.
- 2. All dimensions to be verified on site.
- 3. All goods, materials and workmanship to conform with current building, fire and safety regulations and with manufacturer's specifications.



Elevation A-A
Scale 1:75



Elevation B-B
Scale 1:75



Location Plan
Scale 1:200

Drawn by	Dec 10 2011
Scale	1:75, 1:200 @ A3
Issue	Issue 22.08.12
Client	REAL STUDIOS LTD
Project Name	CONCEPT DESIGN
Drawn by	
Checked by	

with the
TOMORROWS ALLY PALLY
ALEXANDRA PALACE THE
REGENERATION

Drawing No.
BBC STUDIO A
ELEVATIONS AA & BB

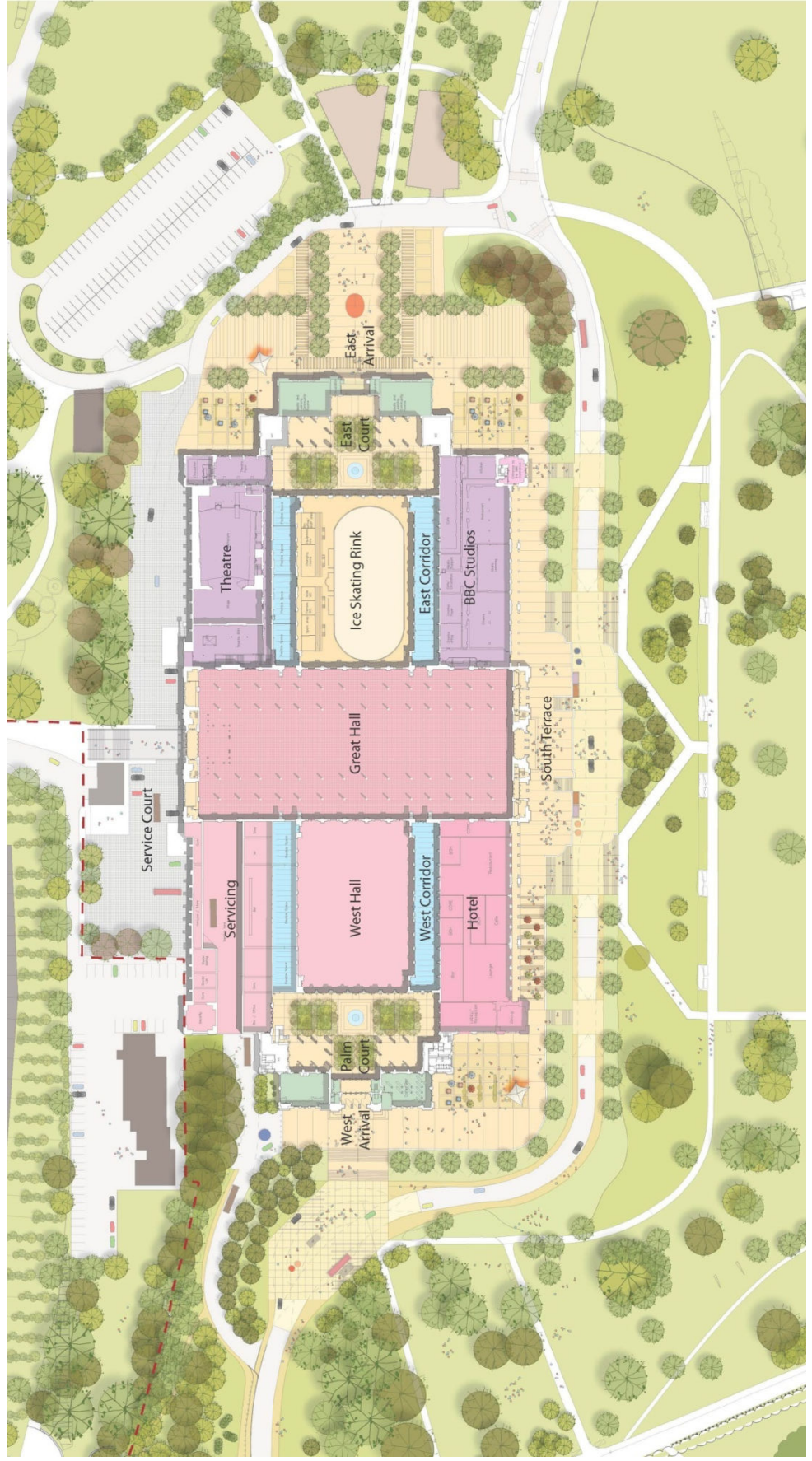
Project No.
APRS PL 04

realSTUDIOS

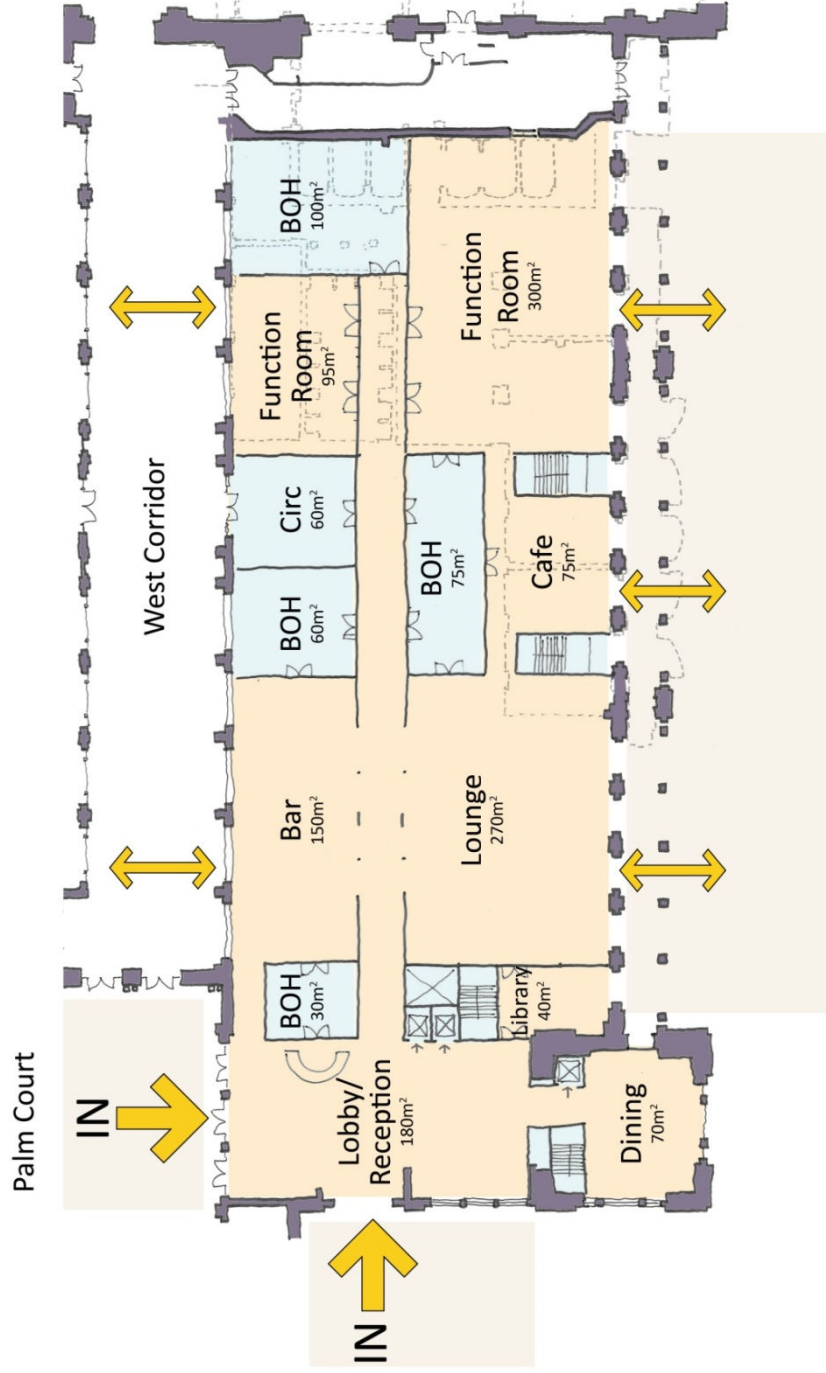
11 Colindale Avenue, London, N9 8DU
T 020 833 3177 F 020 833 3002
E info@realstudios.co.uk W www.realstudios.co.uk

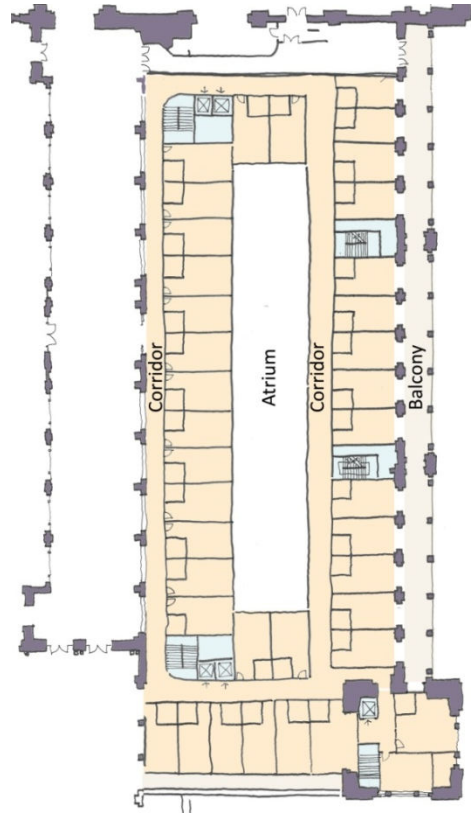
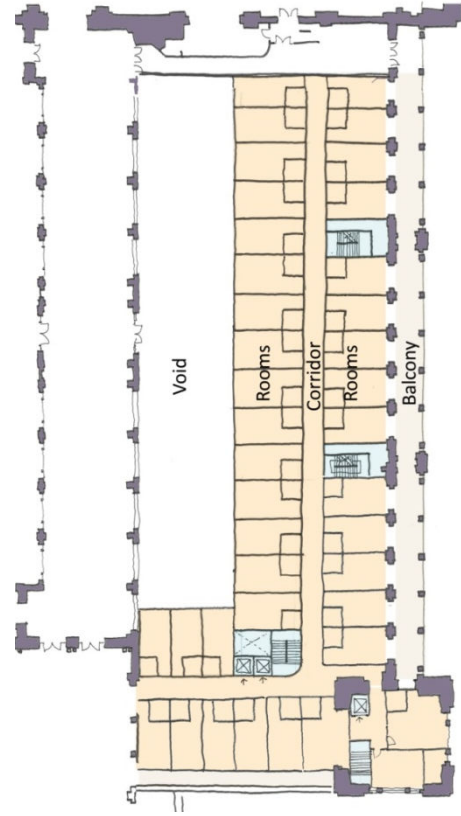
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Strategic Spatial Masterplan



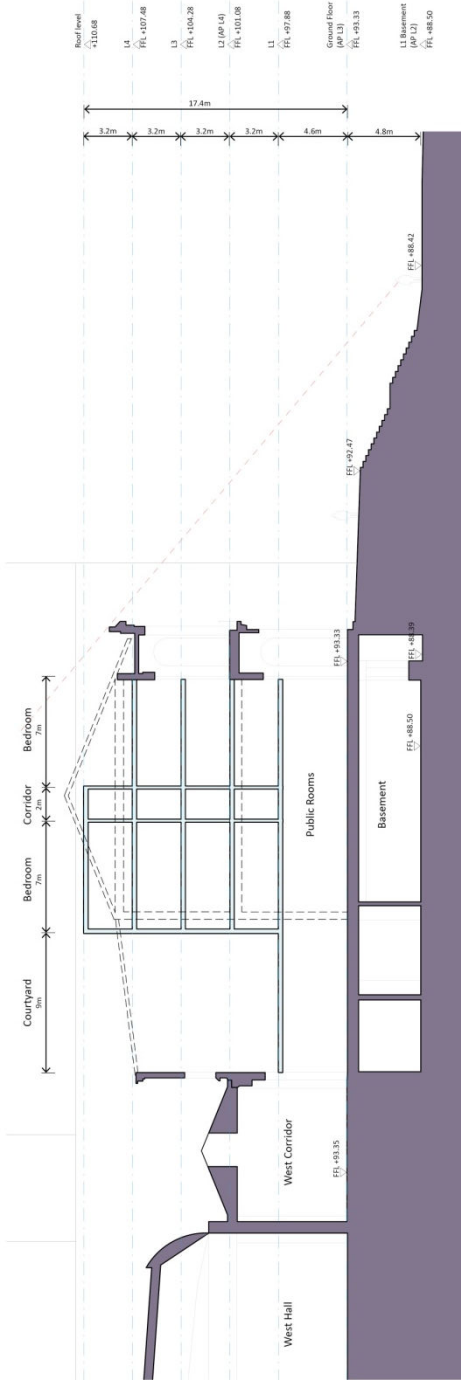
Hotel Ground Floor – Indicative Layout



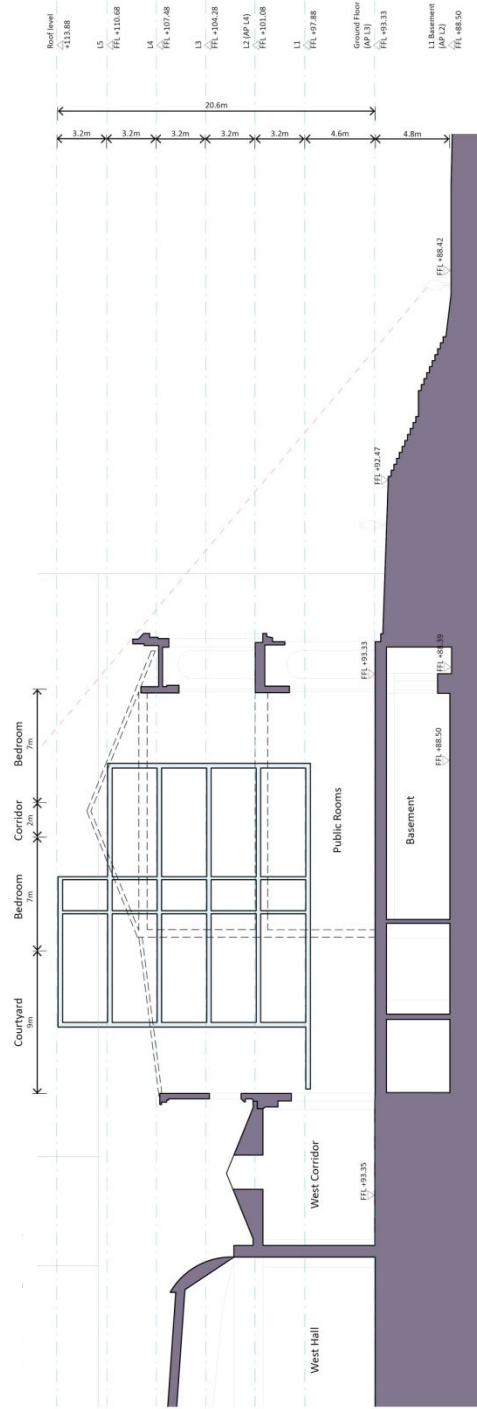


Typical Upper Level Indicative Floor Plan Studies

- 4*-5* aspiration with 25-28m² room size
- 40 Rooms per floor target
- 150 -200 total room target

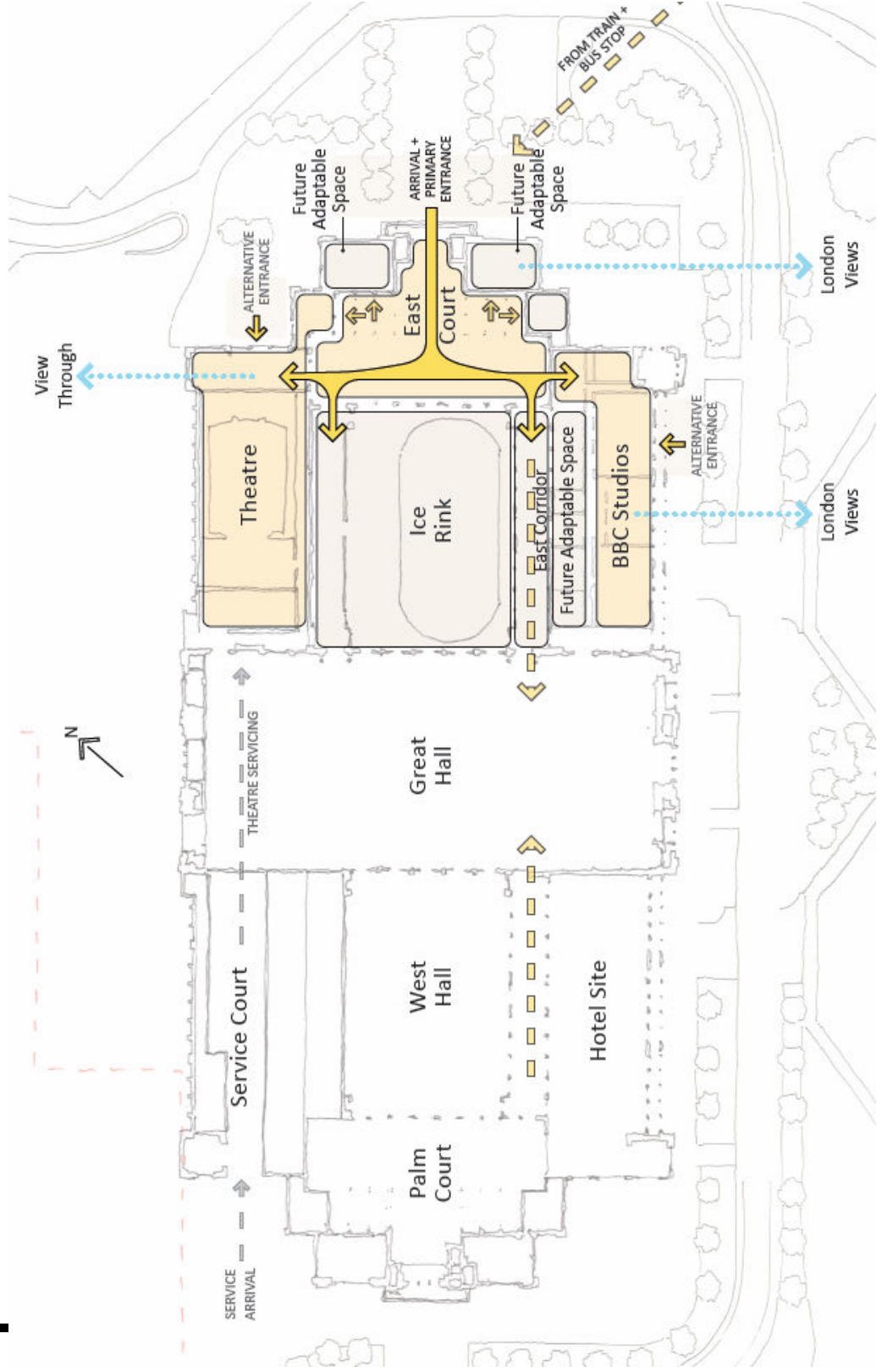


Section Study #1 3½ levels approx 140 Rooms



Section Study #2 4½ levels approx 180 Rooms

Scope of HLF bid



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of the Local Government Act 1972.

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