

NOTICE OF MEETING

PLANNING SUB COMMITTEE

Monday, 7th November, 2022, 7.00 pm - Tottenham Town Hall, Town Hall Approach Road, London, N15 4RY (watch the live meeting [here](#), watch the recording [here](#))

Members: Councillors Barbara Blake (Chair), Reg Rice (Vice-Chair), Nicola Bartlett, John Bevan, Lester Buxton, Luke Cawley-Harrison, George Dunstall, Ajda Ovat, Yvonne Say, Matt White, and Alexandra Worrell.

Quorum: 3

1. FILMING AT MEETINGS

Please note this meeting may be filmed or recorded by the Council for live or subsequent broadcast via the Council's internet site or by anyone attending the meeting using any communication method. Although we ask members of the public recording, filming or reporting on the meeting not to include the public seating areas, members of the public attending the meeting should be aware that we cannot guarantee that they will not be filmed or recorded by others attending the meeting. Members of the public participating in the meeting (e.g. making deputations, asking questions, making oral protests) should be aware that they are likely to be filmed, recorded or reported on. By entering the meeting room and using the public seating area, you are consenting to being filmed and to the possible use of those images and sound recordings.

The Chair of the meeting has the discretion to terminate or suspend filming or recording, if in his or her opinion continuation of the filming, recording or reporting would disrupt or prejudice the proceedings, infringe the rights of any individual, or may lead to the breach of a legal obligation by the Council.

2. PLANNING PROTOCOL

The Planning Committee abides by the Council's Planning Protocol 2017. A factsheet covering some of the key points within the protocol as well as some of the context for Haringey's planning process is provided alongside the agenda pack available to the public at each meeting as well as on the Haringey Planning Committee webpage.

The planning system manages the use and development of land and buildings. The overall aim of the system is to ensure a balance between enabling development to take place and conserving and protecting the environment and local amenities. Planning can also help tackle climate

change and overall seeks to create better public places for people to live, work and play. It is important that the public understand that the committee makes planning decisions in this context. These decisions are rarely simple and often involve balancing competing priorities. Councillors and officers have a duty to ensure that the public are consulted, involved and where possible, understand the decisions being made.

Neither the number of objectors or supporters nor the extent of their opposition or support are of themselves material planning considerations.

The Planning Committee is held as a meeting in public and not a public meeting. The right to speak from the floor is agreed beforehand in consultation with officers and the Chair. Any interruptions from the public may mean that the Chamber needs to be cleared.

3. APOLOGIES

To receive any apologies for absence.

4. URGENT BUSINESS

The Chair will consider the admission of any late items of urgent business. Late items will be considered under the agenda item where they appear. New items will be dealt with at item 11 below.

5. DECLARATIONS OF INTEREST

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

- (i) must disclose the interest at the start of the meeting or when the interest becomes apparent, and
- (ii) may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct

6. PRE-APPLICATION BRIEFINGS

The following items are pre-application presentations to the Planning Sub-Committee and discussion of proposals.

Notwithstanding that this is a formal meeting of the Sub-Committee, no decision will be taken on the following items and any subsequent applications will be the subject of a report to a future meeting of the Sub-Committee in accordance with standard procedures.

The provisions of the Localism Act 2011 specifically provide that a Councillor should not be regarded as having a closed mind simply because they previously did or said something that, directly or indirectly, indicated what view they might take in relation to any particular matter. Pre-application briefings provide the opportunity for Members to raise queries and identify any concerns about proposals.

The Members' Code of Conduct and the Planning Protocol 2016 continue to apply for pre-application meeting proposals even though Members will not be exercising the statutory function of determining an application. Members should nevertheless ensure that they are not seen to pre-determine or close their mind to any such proposal otherwise they will be precluded from participating in determining the application or leave any decision in which they have subsequently participated open to challenge.

7. PPA/2022/0019 - HIGHGATE SCHOOL, NORTH ROAD, LONDON, N6 4AY (PAGES 1 - 80)

Proposal: A series of planning applications for the re-development of the Highgate School sites as follows:

Dyne House and Island Site

Redevelopment of Dyne House, to include:

- 1) Retention, refurbishment and extension of the principal five storey (plus plant and lift over run) Dyne House building;
- 2) Demolition and redevelopment of the rear extension and associated buildings with part one, part two storey structure;
- 3) Retention of the Parade Ground open space, with new sports pitch surface;
- 4) Associated improvements to the Island Site access and underground tunnel, including demolition and redevelopment of service block; and
- 5) Associated landscaping and improved provision for emergency services, servicing and disabled parking.

Science Block

Refurbishment and extension of existing Science Block, to include:

- 1) Four storey plus basement extension to east wing to provide new entrance and improved circulation, lift and ancillary accommodation, and internal re-planning/alterations;
- 2) Two storey extension above ground level colonnade to central building, to provide internal re-planning and additional teaching accommodation;
- 3) Creation of additional plant space at roof level of the East Link Block;
- 4) Complete replacement of building systems/plant;
- 5) Rooftop observatory extension;

- 6) Replacement windows and restoration of existing facades; and
- 7) Associated landscaping.

Richards Music Centre

Redevelopment of Richards Music Centre, including complete demolition of existing structure and development of a replacement building of two and a half storeys plus basement, and associated landscaping with improved provision for emergency services, servicing and disabled parking.

Mallinson Sport Centre

Redevelopment of Mallinson Sport Centre, to include:

- 1) Partial demolition of existing structure, squash and fives court buildings;
- 2) Refurbishment and extension of the remaining facilities, comprising new part single basement, new double height sports hall and new entrances, new teaching classrooms, offices, gym and exercise studios, circulation and ancillary accommodation;
- 3) New basement level outdoor covered fives courts;
- 4) External sunken oval sports pitch; and
- 5) Associated landscaping and improved provision for emergency services and servicing.

Decant Facility

Installation of a single storey modular classroom facility, on a temporary basis, for a period of up to six years; associated means of enclosure, footpaths and landscaping; complete reinstatement of the synthetic surface upon cessation of use.

Far Field

Engineering and groundwork operations to relevel existing playing surface and improve drainage including installation of a synthetic turf pitch, creation of biodiverse margins, new emergency and service access and refurbishment of existing changing pavilion.

8. PPA/2020/0002 - 505-511 ARCHWAY ROAD, LONDON, N6 (PAGES 81 - 112)

Proposal: Redevelopment of existing car-wash site to provide 16 new homes for Council rent comprising a part three, part four-storey apartment building fronting Archway Road, and two houses fronting Baker's Lane with associated refuse/recycling and cycle stores, amenity space and landscaping. Provision of one on-street wheelchair accessible parking space and service lay-by on Archway Road.

9. PPA/2022/0012 - 'BEROL QUARTER', BEROL YARD, ASHLEY ROAD, TOTTENHAM HALE, N17 9LJ (PAGES 113 - 160)

Proposal:

Berol House

Refurbishment of Berol House (c. 3,300sqm) for a mix of flexible commercial & retail floorspace with 3-storey extension (c. 2,200sqm) at roof level.

2 Berol Yard

2 Berol Yard would comprise a part 6, part, part 18, part 25, part 29, part 30 storey building with lift overrun core incorporating c. 210 Build to Rent (BTR) homes with a mix of flexible retail & commercial floorspace at ground floor level with community floorspace and enabling works for a bridge connection over Watermead Way & the railway line to the east.

The BTR accommodation will include 35% affordable housing by habitable room including homes let at London Living Rent (LLR) and Discount Market Rent (DMR).

The proposal would include associated public realm works and landscaping within the quarter which would include a public square.

10. UPDATE ON MAJOR PROPOSALS (PAGES 161 - 176)

To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.

11. NEW ITEMS OF URGENT BUSINESS

12. DATE OF NEXT MEETING

To note the date of the next meeting as 29 November 2022.

Fiona Rae, Acting Committees Manager
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Fiona Alderman
Head of Legal & Governance (Monitoring Officer)
George Meehan House, 294 High Road, Wood Green, N22 8JZ

Friday, 28 October 2022

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Pre-Application Briefing to Committee

1. DETAILS OF THE DEVELOPMENT

Reference No: PPA/2021/0019

Ward: Highgate

Address: Highgate School North Road London N6 4AY

Proposal: A series of planning applications for the re-development of the Highgate School sites as follows:

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Far Field

Engineering and groundwork operations to relevel existing playing surface and improve drainage including installation of a synthetic turf pitch, creation of biodiverse margins, new emergency and service access and refurbishment of existing changing pavilion.

Applicant: Highgate School

Agent: Bidwells LLP

Ownership: Private

Case Officer Contact: Tania Skelli & James Mead

2. BACKGROUND

2.1 The proposed development is being reported to the Planning Sub-Committee to enable members to view it ahead of the submission of a planning application. Any comments made now are of a provisional nature only and will not prejudice the final outcome of any formally submitted planning application.

2.1. It is anticipated that the planning application, once received, would be presented to the Planning Sub-Committee in February 2023. The applicant has engaged in pre-application discussions with Council Planning Officers and the Greater London Authority planning service over recent years and since 2016, with the adoption of the Highgate School Supplementary Planning Document (SPD) in March 2021.

3. SITE AND SURROUNDINGS

3.1. Highgate School was established in 1565, beginning with a few buildings accommodating under 20 children, it expanded through several overhauls and today caters for 1,970 students across four sites. The Senior School Site is within the Highgate Village and three further sites are located to the west, on Hampstead Lane and Bishopswood Road. A map of the School highlighting the main two campus areas, and the key School buildings can be viewed below:

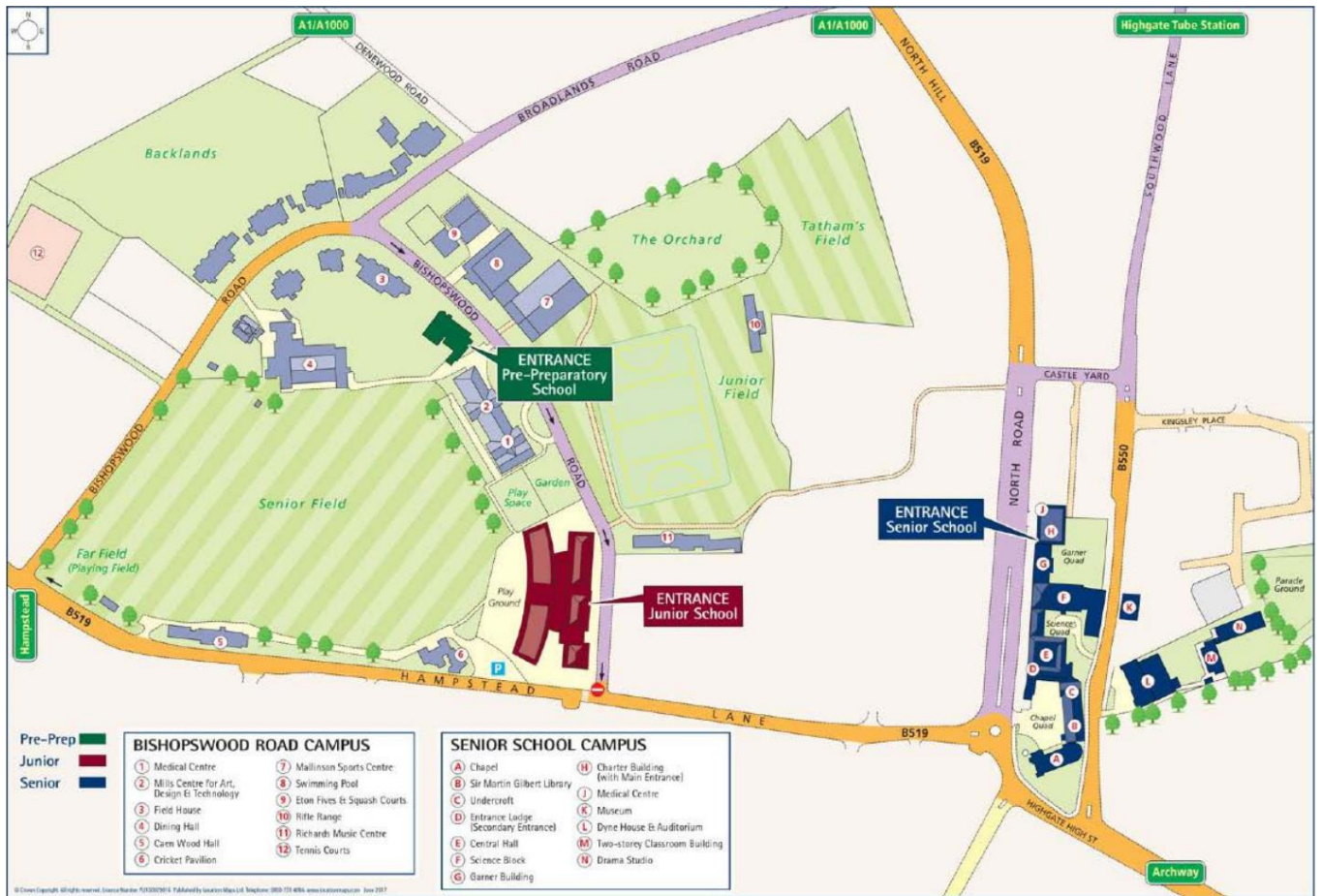


Figure 1: School sites

3.2. The existing school land is designated at Site Allocation SA41, which identifies the site for enhancement, improved accessibility and inclusivity, and general upgrade of facilities to respond to current educational needs and building regulations. In 2021 the Council adopted the Highgate School Supplementary Planning Document (SPD), which will be an important material consideration for any future planning applications. This SPD expands on the site allocation and seeks to directly inform future development proposals at the school. It also provides further background regarding the requirements of the school.

3.3. The site lies within the Highgate Neighbourhood Plan area. This Neighbourhood Plan forms part of the statutory development plan, sitting alongside the London Plan and the Local Plan documents. The SPD aims to respond to the key relevant policies from the Highgate Neighbourhood Plan, including those regarding: the adjacent Highgate Bowl, the Parade Ground, community access, conservation, archaeology, open space, transport/traffic, sustainability and basement impacts.

3.4. In terms of the policy designations covering the sites, parts of the Bishopswood Road Campus are identified as Metropolitan Open Land (MOL). The sites on the Senior School Campus are within an Archaeological Priority Area. The Highgate High Street Local Shopping Centre is also located a short distance to the south-east of the Senior School Campus. There are numerous protected trees within and adjacent to the sites. All of the sites are situated on the boundary with the London Borough of Camden.

3.5. The sites lie within the Highgate Conservation Area and are surrounded by numerous statutory and locally listed buildings, primarily within the Village area. Several of the main school buildings within the 'Island' site are statutory grade II listed buildings. The school buildings on the eastern side of Southwood Lane, including Dyne House and the rear buildings and the other three sites to the west are not statutory or locally listed. The maps below (figures 2, 3 and 4) identify the statutory and locally listed buildings and the location of the Far Field site which is close to Kenwood House. On figures 2 and 3, the buildings highlighted in blue are statutory listed buildings, while the buildings identified in red are locally listed buildings.

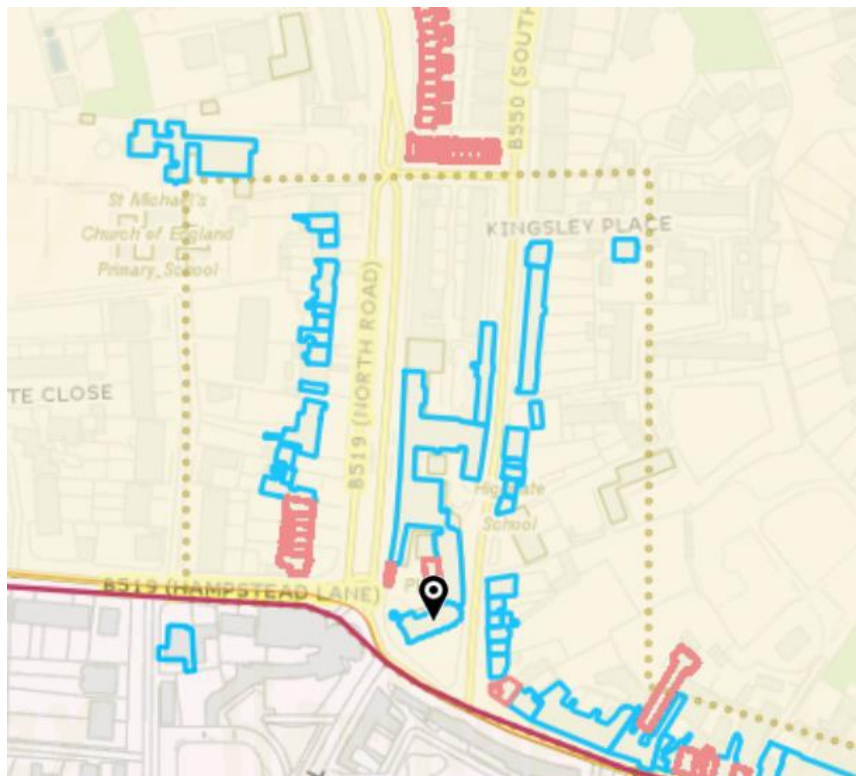


Figure 2: Listed and locally listed buildings within Highgate Village/Senior School site.

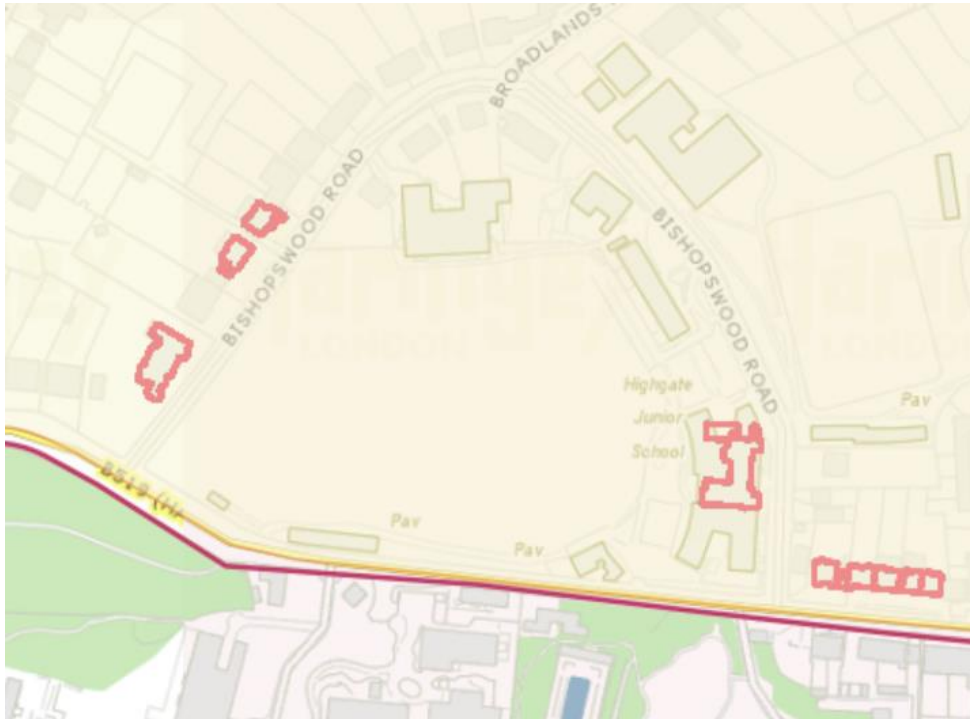


Figure 3: Locally listed buildings around Bishopswood Road.



Figure 4: The Farfield site along Bishops Avenue and across from Kenwood House

4. PROPOSED DEVELOPMENT

4.1. The main sites, which are identified in the SPD for redevelopment are all included in the current proposals and are as follows:

Highgate Village/Senior School Campus:

- Dyne House and Island Site
- Science Block

Bishopswood Road Campus:

- Richards Music Centre (RMC)
- Mallinson Sports Centre (MSC)
- Bishopswood Sports Ground Temporary Decant
- Far Field

Dyne House and Island Site

4.2. The main Dyne House building at the front of the site is proposed to be refurbished, altered and extended. The rear buildings are intended to be demolished, with new one/two storey replacement buildings erected. These replacement buildings would incorporate basement spaces. The altered and new buildings would provide a dedicated Sixth Form Centre and enhanced music facilities. At the very rear of the site there is currently a hardstanding area, known as the Parade Ground. It is proposed to replace this hardstanding with a new multi-use game area (MUGA), comprising of new synthetic turf. This MUGA would be used as informal play space for the school.

4.3. There is currently a tunnel from the main school buildings on the Island Site, which runs beneath Southwood Lane and provides access to Dyne House. It is proposed to alter this tunnel, in order to provide better accessibility between the school buildings. The existing service block on the western side of Southwood Lane is intended to be demolished, with a replacement building constructed.



Figure 5: Existing Front Elevation Dyne House



Figure 6: Proposed Front Elevation of Dyne House



Figure 7: Existing Island Site



Figure 8: Proposed Island Site

Science Block

4.4. The existing Science Block is intended to be refurbished, altered and extended. On the eastern wing of this block a four storey extension is proposed, which would face into the Science Quad. This extension would deliver an entrance foyer, a lift and stairs. The primary aim of this extension is to improve the accessibility and inclusivity of the Science Block. On the northern side a three storey extension is proposed, which would provide additional teaching accommodation. A new rooftop observatory is also intended to be added to this block. Several other external and internal alterations are proposed to the building. The Science Block is attached to the Old School Building, which is grade II listed. Therefore, it is expected that a listed building consent application will be submitted alongside the full planning application.



Figure 9: Existing Science Block



Figure 10: Proposed Science Block

Richards Music Centre (RMC)

4.5. The redevelopment of the RMC includes the complete demolition of the existing building. A two/two-and-a-half-storey replacement building, with basement, is proposed. The proposal includes landscaping works and improved provisions for emergency services, servicing and parking.



Figure 11: Existing Richards Music Centre



Figure12: Proposed Richards Music Centre

Mallinson Sports Centre (MSC)

4.6. The redevelopment of the MSC includes partial demolition of the existing structure, squash and fives court buildings. The remaining buildings are to be refurbished and extended to include a new part-single basement, new sports hall, new entrances, new classrooms, offices, covered five courts, gym and exercise studios. The rear open grounds of the building are to be redeveloped to provide a sunken oval sports pitch. The proposal includes landscaping works and improved provision for emergency services and servicing.



Figure 13: Existing Mallinson Sports Centre



Figure 14: Proposed Mallison Sports Centre

Decant Facility

4.7. The proposed works for each site will require decanting of classrooms during the period of building works. The proposal is for the installation of single-storey modular classrooms on half of the synthetic field between the RMC and the MSC for a period of six-years only.



Figure 15: Proposed Decant Facility

Farfield

4.8. Works of engineering and groundwork improvements are proposed to the sports ground on the corner of Hampstead Lane and Bishops Avenue. This includes releveling the ground, drainage works and installing a synthetic pitch. The proposal includes landscaping and biodiversity initiatives to the margins of the field, a refurbished pavilion and a new emergency and services access.



Figure 16: Farfield visualisation of proposed arrangement

5. PLANNING HISTORY

5.1. The site has an extensive planning history relating to its historic use as a school. Some of the most significant and recent planning history is as follows:

- HGY/2021/2096 – Mallinson Sports Centre - Construction of a single storey glazed front entrance. Planning permission granted on 27/08/2021.
- HGY/2020/3147 – Engineering works improvements to surface water drainage to the Senior Fields playing pitches, including below ground attenuation tanks, for flood protection. Planning permission granted on 26/01/2021.
- HGY/2020/2980 – Extension to Highgate School Pre-Preparatory building to provide three additional classrooms, a library, covered outdoor play space and level access to the existing school building. Planning permission granted on 12/01/2021.
- HGY/2017/2492 – Highgate School Senior Field - Installation of artificial cricket practice surface 30m x 24m in existing sports field plus 6 no. concertina type cricket nets. Planning permission granted on 26/09/2017.

- HGY/2015/1148 – Bishopswood site - Part demolition, extension and alterations to the Highgate School Dining Hall. Planning permission granted on 16/11/2015.
- HGY/2015/1029 – Mallinson Sports Centre - Refurbishment and extension of the Mallinson Sport Centre, including part single and part double storey extension to the front and a part one storey extension and two storey rear infill extension, as well as internal and external alterations. Planning permission granted on 01/06/2015.
- HGY/2012/2446 – Installation of temporary Junior School accommodation (expiring 31 January 2016) with associated landscaping and subsequent reinstatement of open space. Planning permission granted 19/02/2013.

6. CONSULTATIONS

Public Consultation

6.1. Since 2016, the applicant has undertaken its own extensive public consultations in advance of the Council's own consultation on the draft SPD before it was finalised and adopted, and actively engaged in the pre-application process for the various sites. Comments received during the pre-application consultations will be summarised as part of the planning application and taken into account in the final design of the development proposal.

6.2. A Development Management Forum (DMF) was held on 19 October 2022. At the DMF residents raised a variety of matters. One of the main concerns voiced by residents was the possible impact of the Dyne House proposals on the amenity of neighbouring properties. Residents also questioned how disruption to neighbours and impacts on the surrounding highway network would be minimised during the demolition/construction phases of the developments. The need to retain existing trees was also emphasised by local residents and the drainage arrangements were queried.

Quality Review Panel

6.3. Earlier versions of the proposals have been assessed by the Quality Review Panel (QRP) on 2nd February 2022 for the Science Block, Dyne House & Island Site, Richard Music Centre and the Mallinsons Sports Centre. The reports from the latest QRP Review are attached as **Appendices 1 – 4**.

Dyne House

6.4. The Panel strongly supports the overall high-quality of the Dyne House development proposals. Particularly 'it welcomes the decision to retain and remodel the existing structure, which is beneficial in terms of embodied carbon. It encourages the applicant team to develop a holistic sustainability strategy for all the buildings being redeveloped. The way in which the new buildings at Dyne House step down

towards the Highgate Bowl, is a positive response to the topography of the site. The panel also supports the direction in which the architecture is developing, with a material palette of brick, stone and glass. It suggests adding greater depth and interest to the facades, to reflect the qualities of the conservation area, particularly for the front elevation. Landscape design is well-integrated with the architecture, including proposals for sedum, meadow and tree planting at roof level. While supportive of this approach, the panel questions if sufficient soil depth is achievable for roof top trees to be delivered. It also queries whether new tree planting in the parade ground is desirable and suggests that maximising sunlight may be more important.

Science Block

6.5. The proposal for the Science Block is considered to 'relate well to and enhance the existing buildings and spaces'. The panel considers the scheme to restore the form and function of the two quadrangles. The approach to sustainability is welcomed, although some further analysis of the potential for overheating in the Science Quad extension is recommended. The panel suggested that some modification to the alignment of the southern elevation of the Science Quad extension may help to refine the visual impact of the building as viewed from Southwood Lane.

Richards Music Centre (RMC)

6.6. The panel considered the proposal for the Richards Music Centre to create an attractive and successful building. The approach to landscape and greening was supported, and the panel was comfortable with the technical incursion into Metropolitan Open Land (MOL). The building would relate well to Bishopswood Road and the neighbouring houses, including protection of privacy and light. The panel feels that the elevations and materials are well-judged, and that the roof form is a good solution. The panel recommended further research into the extent of glazing and sustainability.

Mallinson Sports Centre (MSC)

6.7. The strategic approach adopted for the redevelopment of the Mallinson Sports Centre was considered of good quality for the school and the wider community. The sustainability approach was welcomed but further progress was recommended, particularly the reduction in emissions. Further refinement to the design of the facades was encouraged. The panel considered the minor encroachment onto the Metropolitan Open Land (MOL) justified.

6.8. The submission of a full planning application is expected at the end of November 2022.

Greater London Authority (GLA)

6.9. The applicants have met with the GLA on several occasions to discuss their proposals at the Bishopswood Road Campus.

7. MATERIAL PLANNING CONSIDERATIONS

7.1. The Planning team's initial views on the development proposals are outlined below.

Principle of Land Uses

7.2. Site Allocation SA41 of the Site Allocations DPD identifies the Highgate School site(s) for extension, improvement, upgrade and modernisation. The Highgate School SPD outlines the overall masterplan for the school and identifies a range of overarching development objectives to be addressed through the proposals. These include:

- Improving the quality of education provision;
- Increasing the accessibility of open space;
- Protecting Metropolitan Open Land (MOL);
- Preserving or enhancing the Conservation Area;
- Preserving the setting of listed buildings; and
- Having due regard to archaeological potential.

7.3. The proposed developments would aim to meet these requirements by providing/retaining suitable buildings, demolishing and redeveloping others and upgrading/improving existing facilities, in accordance with the approved SPD and relevant local policies.

7.4. The SPD identifies the school's aspirations for each of the development proposals and outlines site-specific requirements to be addressed. The key of aims of each of the development proposals, as identified in the SPD, are noted below:

- Dyne House and Island Site: The SPD notes that the school requires additional/improved space to meet the academic requirements of the Senior School Campus and this can be delivered through the redevelopment of Dyne House. It is also outlined that the existing building is inefficient and inaccessible. Redevelopment should enable these issues to be addressed.
- Science Block: The SPD explains that the the existing labrotaties in the Science Block require signifcant upgrading. Extension of the building also aims to facilitate full accessibility within the building.
- Richards Music Centre: The SPD advises that the existing layout and construction of the building compromises it's educational use. In addition, there are issues with the building's drainage and foundations. Redevelopment should enable the delivery of enhanced educational accomodation.
- Mallinson Sports Centre: The SPD outlines that the current building does not provide disabled access to the majority of the facilities. The school also has an additional requirement for sports facilities. The main aim of redevelopment is to provide a modern sports centre, which is fully accessible.

- Decanting Facility: The SPD advises that a decanting facility is required to support the operational needs of the school during the redevelopment schemes. The school has explored various alternative sites and the Bishopswood Road site is considered to be the preferred option.
- Farfield: The SPD outlines that the works at this site are aimed at reducing flood risk, in order to enable a wider range of sports to be played all year around.

Masterplanning and Phasing

7.5. A masterplan approach and phasing program for these proposed developments on numerous parts of the school site is required. The applicants have expressed the need to develop one site at a time and in order to do so, the school would need to use the Decanting facility at each stage of development. It is anticipated that all of the proposed works on the numerous parts of the site will take place over a number of years. Therefore, a robust masterplan and phasing program will be required to be submitted with a formal planning application in order to ensure there would be minimal disruption to the school and minimal impact on the amenity of local residents. Section 6 of the SPD outlines the school's Masterplan and this explains how individual sites should or could be brought forward.

Character, Appearance and Heritage Impact

7.6. Commentary on the design of each of the separate proposals is outlined below.

Dyne House and Island Site

7.7. The existing main building at the front of the Dyne House site is of 1960s design and construction. The Conservation Area Appraisal notes that Dyne House is a good example of its time, however in the context of the Conservation Area the scale of the building does not reflect the character of the street. Therefore, Dyne House is not considered to be a building, which currently contributes positively to the character of the Conservation Area. Noting the Conservation Area Appraisal analysis, it is considered that there is an opportunity to enhance the visual contribution this building makes to the Conservation Area.

7.8. At the front of Dyne House it is proposed to remove existing lift cores and then erect a front extension, with a new lift core added on the southern side. New brickwork and stone are proposed across the front elevation. The applicant has sought to respond to the proportions of Dyne House by ensuring that the height of the extension would not exceed the height of the existing building. From the visuals provided, officers consider that the principle of altered brickwork could be acceptable. The incorporation of stone/glazing across the front could also assist in visually breaking-up this elevation and adding visual interest. Officers will require the submission of additional details of the materials, in order to ensure that they preserve the character and appearance of the Conservation Area and do not cause harm to it.

7.9. The existing buildings at the rear of Dyne House are not identified as being of significant architectural or historic value. Therefore, the principle of demolition would

be acceptable. The land levels drop away significantly to the rear of Dyne House. It is proposed to construct the replacement rear buildings into these dropping land levels. The elevation drawing at figure 12 indicates that the replacement buildings would not be notably larger in terms of height, when compared with the existing buildings. The form and materials of the replacement buildings appear to be complementary to the main Dyne House building. The proposed new MUGA at the very rear of the site could be acceptable in design terms although further details will be required to ensure it is visually compatible with the other proposals on the site and to demonstrate how it addresses Core Objective 4 of the Neighbourhood Plan regarding greening the Parade Ground area.

7.10. The works at the Island Site are intrinsically linked to the Dyne House proposals, as they are aimed at improving accessibility between the two parts of the school. The proposal involves the removal of the service block which is of little architectural merit and replacement with a new service block. The new service block would be set down to minimise its visibility. Further information on proposed materials will be important to ensure that the proposed replacement service block would visually complement and safeguard the setting of the adjacent listed buildings.

7.11. Pre-application assessment and QRP comments suggest that the proposals at Dyne House and at the Island Site could be acceptable in terms of design, subject to additional details being provided and further consideration by officers. There is an opportunity to enhance the visual contribution Dyne House and the Island Site makes to the character of the Conservation Area.

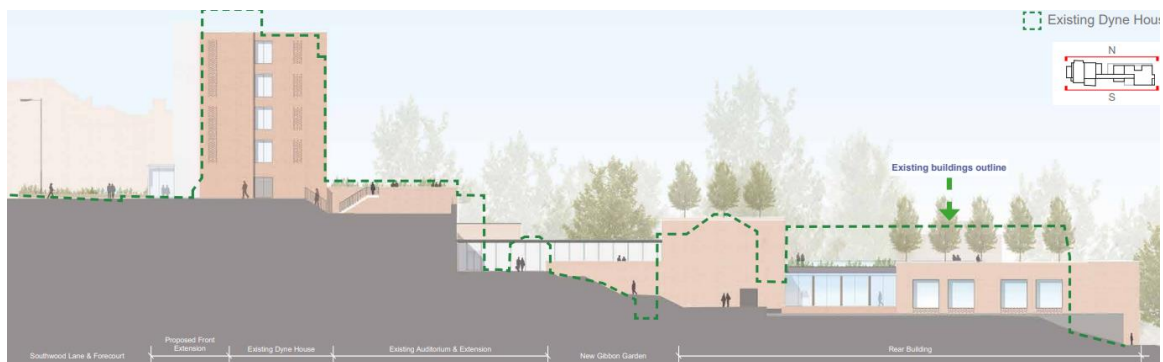


Figure 17: Proposed North Elevation Dyne House

Science Block

7.12. The Science Block dates from the 1920s and is of classical Edwardian architectural style, incorporating red brick and stone. It is not listed in its own right, however it is attached to the grade II listed Old School Building meaning it clearly forms part of the setting of this heritage asset.

7.13. The proposed extensions would have a limited footprint and would not exceed the height of the existing Science Block (apart from the observatory addition). The flat roof design of the extensions has been pursued to respond to the form of the existing

Science Block. The external materials have been amended throughout the pre-application process, with brickwork, glazing and louvres now proposed. The changes to materials are clearly shown in figure 13. The use of brickwork has been chosen to reflect the construction of the listed buildings. However, incorporation of modern design features, such as the louvres would visually separate the new addition from the older parts of the building. Officers consider that there is an opportunity to provide acceptable extensions to the Science Block, subject to the materials and design detailing being respectful of the adjacent heritage assets.



Figure 18: Pre-application material changes



Figure 19: Visualisation of Proposed Southern Elevation

Richards Music Centre (RMC)

7.14. The Richards Music Centre is a single storey, inter-war period red brick building with mansard roof and uPVC windows. The building was originally conceived as a school pavilion and later converted to a music school.

7.15. The building is in a relatively poor condition, and does not meet modern requirements in terms of sustainability or energy efficiency. The site is located within the Highgate Conservation Area and the SPD notes that the existing building contributes positively to the character of the area. Therefore, any justification for redevelopment would need to be based on a clear understanding of the public benefits set against the significance of the building, in accordance with the NPPF.

7.16. The SPD sets out that the redevelopment can be justified accordingly and demonstrates that the redeveloped RMC can provide additional and enhanced educational accommodation, improved drama and changing facilities as well as access to the synthetic pitch then the proposal will be considered favourably. The submission is expected to include a Heritage Impact Assessment assessing the loss of the existing building and its impact on the Highgate Conservation Area.

7.17. The redevelopment of the site involves the demolition of the existing building and construction of a new 2 and a half storey building for uses ancillary to the main school. A small part of the new building would encroach onto the existing area of Metropolitan Open Land (MOL). The section of land in question is currently in use as a car park and does not form part of the playing fields or open green space. The applicant will have to demonstrate that very special circumstances allow for the development on MOL in line with London Plan Policy G3. If the Council considers that a very special circumstances case has been made, it must be convinced the amount of MOL impacted is the minimum necessary to deliver on the proposals and that the remaining area of the MOL is appropriately enhanced.

7.18. The proposal would be subject to the GLA's approval with regards to the MOL status, however, this appears to have been supported in principle following pre-application discussions between the Applicant and the GLA.

7.19. Many of the surrounding buildings are detached Victorian era properties and school buildings of varying architectural merit. There is also a large sports centre which has a utilitarian appearance. The proposed design must preserve or enhance the character and appearance of the Highgate Conservation Area. Following pre-application advice by Conservation Officer and QRP the proposal was refined to provide a better design contributing to the enhancement of the Conservation Area given the visual amenity of the existing parking area. The front elevation facing the open space was improved by adding a focal point/entrance that articulates the facade effectively. The southern elevation was improved to break up the bulk and monotony of the elevation by exploring a variety of materials/brick courses.

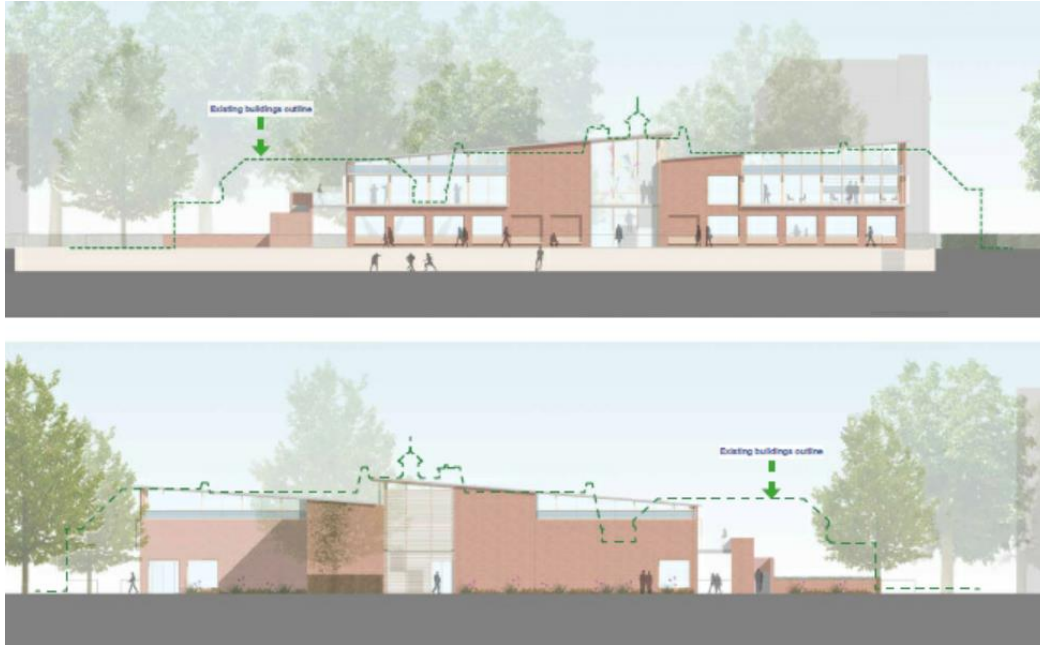


Figure 20: Existing and proposed massing of the RMC

Mallinson Sports Centre (MSC)

7.20. Mallinson Sports Centre is located on Bishopswood Road and accommodates both internal and external sporting facilities including a swimming pool, sports hall, squash courts and Fives Courts. The swimming pool was built in the 1960s and the main sports complex in the 1980s for what was then a boys only school. The school has indicated that the co-educational nature of sport and the growth of individual team sports alongside the continuing popularity of traditional team sports have resulted in additional requirements for sports facilities (i.e. segregated changing facilities).

7.21. The current building does not provide disabled access to the majority of facilities, only allowing disabled access into the main reception area and mezzanine hall.

7.22. The current Mallinson Sports Centre building does not enhance the Conservation Area; furthermore, it is identified in the Highgate Conservation Area Appraisal as being a negative contributor and detracting from the environment. The Conservation Area Appraisal states that there are a 'number of buildings connected with the School which detract from the environment especially the sports centre swimming pool and other facilities south side of the road opposite the Mills Centre and the Junior School. These have a somewhat industrial appearance and the cladding and roofing materials are not well maintained'. It is suffering from general wear and tear.

7.23. Proposals for the demolition of the building might be considered acceptable subject to appropriate redevelopment of the site. This also holds for the squash courts

adjacent to the Fives Courts which is a building which needs substantial refurbishment or replacement and is not considered to make any particular contribution to heritage interest, and therefore the proposals for demolition would be considered subject to appropriate redevelopment plans.

7.24. The main aim of the refurbishment and redevelopment of the MSC is to provide high quality sporting facilities that are fully accessible, of high-quality design that enhances the Conservation Area, improves drainage systems, protects trees, protects neighbouring amenities and must do so in compliance with policy for MOL.

7.25. The buildings are considered at this stage to be of an appropriate scale and massing and a high-quality contemporary design. They would be finished with a robust palette of brick, stone and other suitable materials that would provide a distinctive modern appearance in this area. Officers consider that subject to further details, the design of the alterations and extensions to the existing buildings and the design of the new buildings would preserve and enhance local heritage assets.

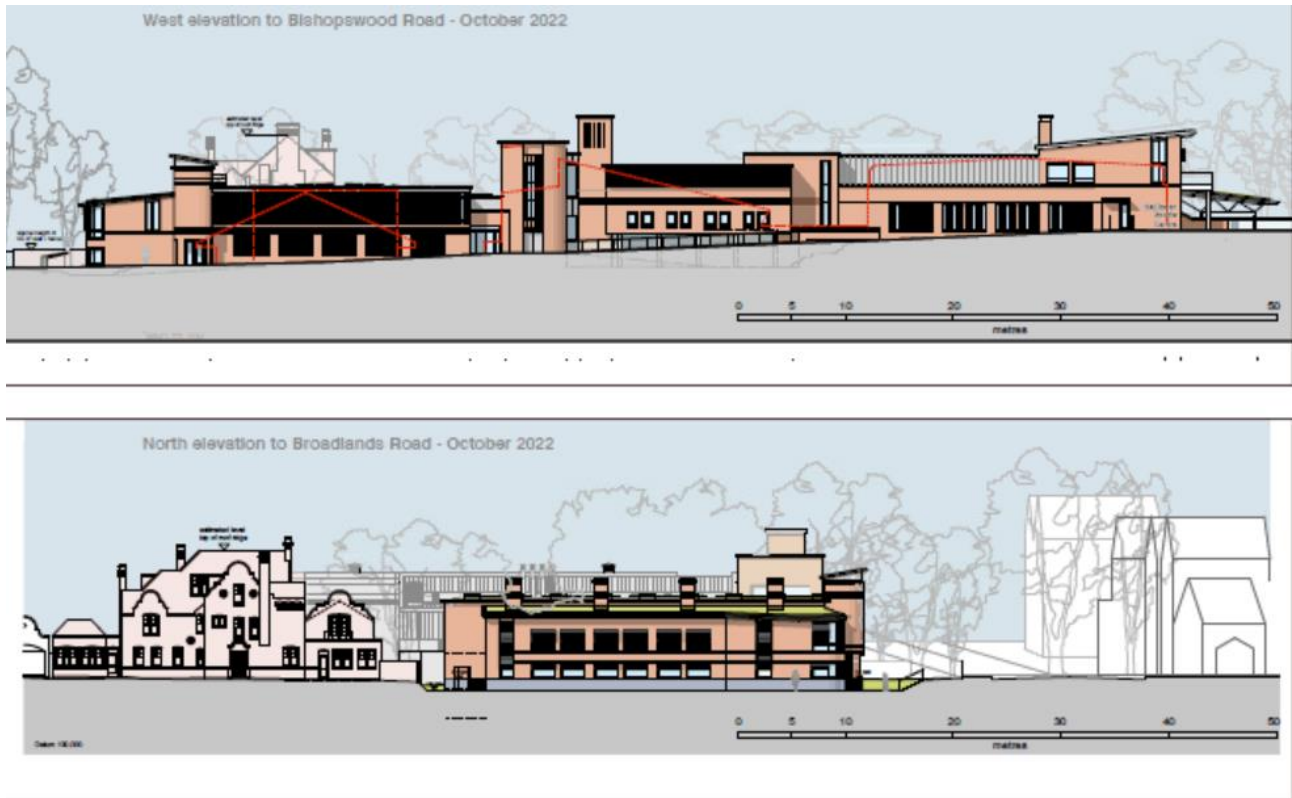


Figure 21: Existing and proposed massing of the MSC

Bishopswood Road Decanting Facility

7.26. The decanting of the each of the relevant buildings (Science Block, Dyne House, RMC) will be required during their redevelopment. The applicant proposes to use half of the existing synthetic sports field between the RMC and MSC for a duration of six-

years. In addition, the synthetic surface of the subject sports field will be re-laid and restored to a good state following the termination of the decanting period. During the recent construction of the replacement Junior School the Junior Playing fields were utilised for decant but are not appropriate for a second time due to the distance from the existing buildings, drainage and building regulations constraints.

7.27. The site is accessed via the Bishopswood Road as well as the pedestrian pathway from North Road, along the St Michael's Catholic Primary School. This would remain as existing and provides a shorter route to the site.

7.28. The proposal would be subject to the GLA's approval with regards to the MOL status. The SPD states that the introduction of a temporary decant solution will be supported by the Council where a very special circumstances case is presented and where a planning obligation is secured ensuring that the land used would be reinstated as MOL and playing field of equal or higher quality following cessation of the temporary use.



Figure 22: Proposed decanting layout

Farfield

7.29. The sports grounds a.k.a 'Farfield' is used by the Highgate School for team sports and lies on the edge of the Borough's boundary, opposite Kenwood House. The ground as existing, slopes northwards and is proposed to be re-levelled following drainage works to improve water run-off and as a consequence the more efficient use of the field, all year-round. The existing lawn is proposed to be re-laid with an artificial synthetic surface and the margins of the field would be re-landscaped with increased biodiverse measures to compensate for the loss of the lawn. The SPD includes a

section on the natural environment which states that in considering proposals for the regrading, replacement and provision of new drainage systems as part of improvements to existing playing field areas, the Council will expect the submissions to be accompanied by a report that sets out that there would be no adverse impact to the natural heritage as a result of the works that are undertaken.

7.30. The existing changing pavilion on the north side of the field is proposed to be replaced with a structure of similar footprint with a larger overhanging flat roof.



Figure 23: Proposed Farfield

Landscaping, Trees & Public Realm

7.31. In general terms, it is understood that all of the proposed developments are striving to meet the urban greening factors of the London Plan and should also achieve a net gain in biodiversity. Trees will be expected to be retained and protected, however where tree removal is essential, replacement planting of the same quality will be required, but in the first instance officers expect good quality trees to be retained. In order to meet these requirements, it is anticipated that landscaping proposals, ecological reports, arboricultural impact assessments, tree surveys and arboricultural method statements will need to be provided with the future planning applications.

7.32. In terms of the site specific proposals at Dyne House, it is noted that there are numerous mature trees within and adjacent to the site, which are protected due to their location in the CA. It is understood that the applicants have sought to locate the proposed development away from the trees, so to avoid intrusion into root protection areas, where possible. Submission of an arboricultural impact assessment at application stage will enable full assessment of the effects on these trees.

7.33. Landscaping proposals have been outlined for the Science Block. It is anticipated that further details of the landscaping works at this site will be provided at application stage. All proposed replacement or refurbished and extended buildings are proposed with associated landscaping.

7.34. The site allocation requires existing Metropolitan Open Land (MOL) to be retained.

Amenity of Nearby Residents

7.35. Commentary on the possible impacts on neighbour amenity for each of the separate proposals is outlined below.

Dyne House and Island Site

7.36. There are properties on Southwood Lane and Kingsley Place, which neighbour the Dyne House site. The scale of the extensions and new buildings at Dyne House have been decreased following numerous discussions with officers. Any proposal will need to ensure that the amenity of adjoining residential neighbours is preserved, or improved, where this is possible, in line with the SPD.

7.37. The incorporation of music facilities into the Dyne House proposals means that there is a possibility of noise being generated at the site. As part of any future planning application, officers expect that the mitigation measures are identified to reduce the impacts of noise.

7.38. A Construction Management & Logistics Plan will also be required to limit the disruption to residents during the demolition/construction phases.

Science Block

7.39. To the north of the Science Block are properties at the Almshouses. The northern extension to the Science Block would be likely to be visible from some of the dwellings at the Almshouses. While this is noted, the modest depth of the northern extension should limit the likelihood of undue overbearing impacts, loss of light, overshadowing or restriction of outlook affecting the Almshouses.

7.40. A Construction Management & Logistics Plan will also be required to limit the disruption to residents during the demolition/construction phases.

Richards Music Centre (RMC)

7.41. The re-development of the RMC building is proposed to follow a similar footprint. However, the location of the proposed building would be improved by being pulled away from the residential neighbour at its rear. The new building would be of similar height but with reduced bulk to its rear.

Mallinson Sports Centre (MSC)

7.42. The redevelopment of the MSC would result in temporary disturbance during construction to adjoining residents. However, the existing use and bulk of the building is not considered to significantly alter impact on neighbouring amenity.

Decanting

7.43. The proposal to decant existing classrooms to the sports field during construction works would result in an additional number of students at the Bishopswood Site, who in their majority would travel to the site via the pedestrian pathway leading from North Road. The applicant is expected to demonstrate how this would be managed during the proposed temporary period of six-years to avoid undue additional noise and disturbance to adjoining residents during the hours of use of the site.

Farfield

7.44. The proposal to improve and upgrade the Farfield is not considered to result in impacts on the amenities of neighbouring residents, beyond that expected during the construction period and which would be mitigated by a Construction Management & Logistics Plan.

Energy & Sustainability

7.45. The applicant has undertaken an energy strategy options appraisal and determined that the development's energy needs and a carbon reduction can be secured through the provision of a variety of mitigating measures.

7.46. The applicant is expected to submit a sustainable design and construction statement to confirm the sustainability measures which are to be incorporated into each of the proposals. Given the fact the proposed development would sit on MOL, opportunities to provide green roofs and living walls are expected.

Drainage

7.47. The applicant has outlined various plans to improve the drainage capabilities for each of the sites, in particular the RMC, the Decant Site following re-instatement, Farfield and Dyne House. Therefore, any forthcoming application must include details of the proposed surface water drainage scheme in accordance with the drainage hierarchy.

7.48. It is expected that developments utilise sustainable urban drainage systems (SUDS) unless there are practical reasons for not doing so, and aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible in line with the drainage hierarchy.

Metropolitan Open Land (MOL) and open space

7.49. London Plan Policy G3 states that the strongest protection should be given to London's MOL and inappropriate development refused, except in very special circumstances, giving the same level of protection as in the Green Belt. The relevant policies are laid out in the Local Plan, London Plan and the NPPF. As discussed above, proposals at the RMC, MSC, Decant and the Farfield would impact on MOL. The level of encroachment in the RMC and MSC must demonstrate very special circumstances that outweigh the loss of MOL. The Decanting facility would affect MOL on a temporary basis and the Farfield proposal is wholly within MOL, The NPPF (para 149)

sets out that the provision of facilities for outdoor sport, are appropriate in MOL as long as the facilities preserve the openness of the MOL and do not conflict with the purposes of including land within it. The replacement of natural lawn with artificial surfacing can be considered to be appropriate within MOL.

7.50. All sites listed above which impact on MOL will be required to be referred to GLA for final approval. Further guidance on how the Council will approach the proposals affecting the MOL are set out in the SPD.

7.51. The Highgate Neighbourhood Plan also includes several policies focusing on open space, seeking to empower the community to protect, enhance and obtain the maximum benefits from Highgate's open spaces, where this does not harm the existing integrity or character of the open space.

Transportation and Parking

7.52. It is understood that there is no intention to increase the number of pupils attending the school. Therefore, impacts on highways or public transport capacity are not anticipated. The sites have a range of public transport connections, with public transport accessibility levels (PTAL) ranging between 3 and 4 for the Senior School site on North Road and Southwood Lane. Whereas, the PTALs for the Bishopswood Road and the Farfield sites range between 1b and 2.

7.53. The proposals at the front of Dyne House would result in the loss off-street parking and this needs to be fully justified as part of any future planning application. It is acknowledged that Southwood Lane is a busy route, close to the Highgate Village. Therefore, it is expected that the applicant will provide a detailed and robust Construction Management & Logistics Plan to support the Dyne House and Science Block applications. This should clearly explain how the demolition/construction phases would be managed and how impacts on the operation of the adjacent highway network would be mitigated.

7.54. Any changes in car parking spaces along the RMC site are expected to be outlined in detail. However, a reduction is expected so this would need to be justified against policy, Disabled parking bays will be sought by officers. Travel arrangements to the other existing Bishopswood Road sites would remain as existing and all sites would require a Travel Plan and a Construction Management & Logistics Plan for movements during construction.

7.55. Cycle parking provision for all the sites should be compliant with the requirements of the London Plan. The SPD sets out that any redevelopment should not result in additional car use or parking or traffic impacts outside of the construction phase.

7.56. The Highgate Neighbourhood Plan Policy TR1 seeks to promote sustainable movement and that material changes to school should take account of their impact on the community. Policy TR2 sets out the expectation for major new development to

demonstrate issues related to minimising traffic impacts have been considered during the planning application process.

Wider Community Benefits and Public Access

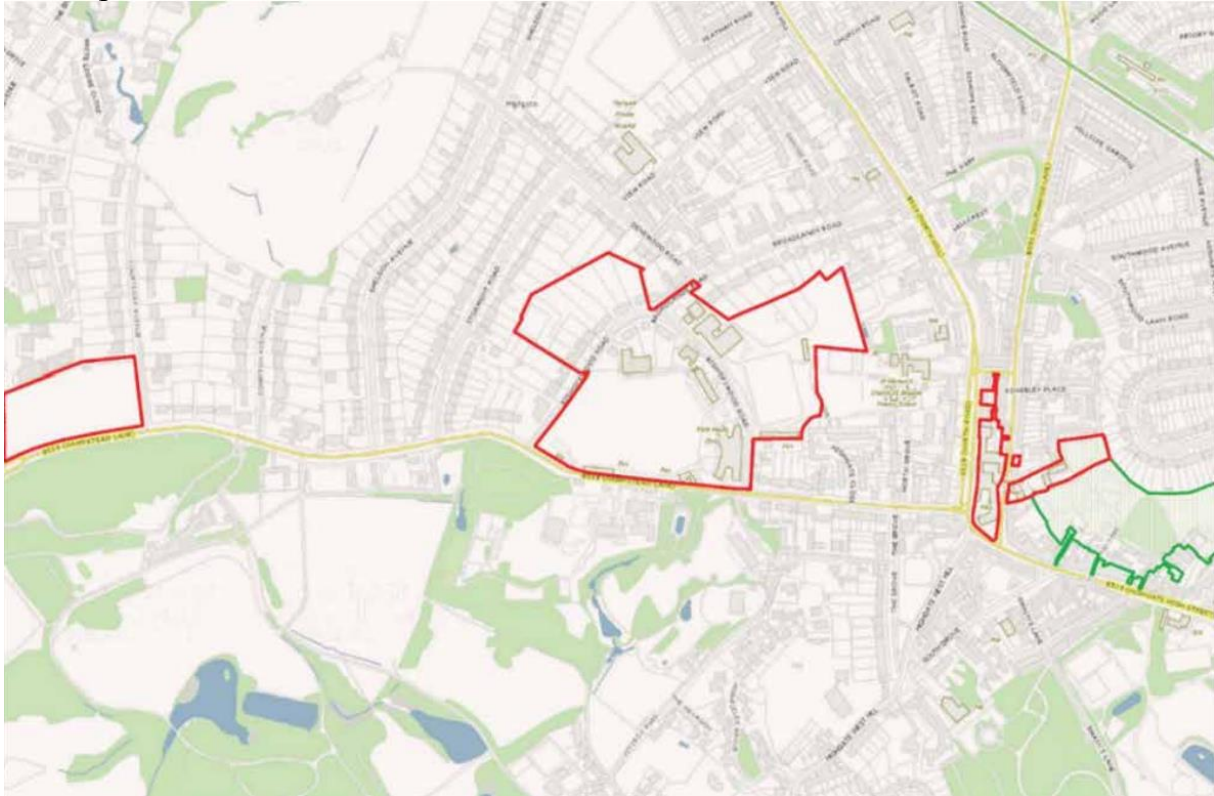
7.57. The SPD notes the school's safeguarding role, and the wider work the school does in terms of community partnerships and sharing resources. The SPD also makes clear that when planning applications come forward the Council will explore with the School opportunities for limited public access, and if appropriate, agree a Community Use Agreement. Although not policy and non-statutory, infrastructure project SC6 in the Neighbourhood Plan seeks to "Encourage community access to privately held sports facilities".

Community Infrastructure Levy (CIL)/Section 106

7.58. The development will attract a Nil rate for CIL.

PLANS AND IMAGES

Existing Site Plan



Dyne House and Island Site



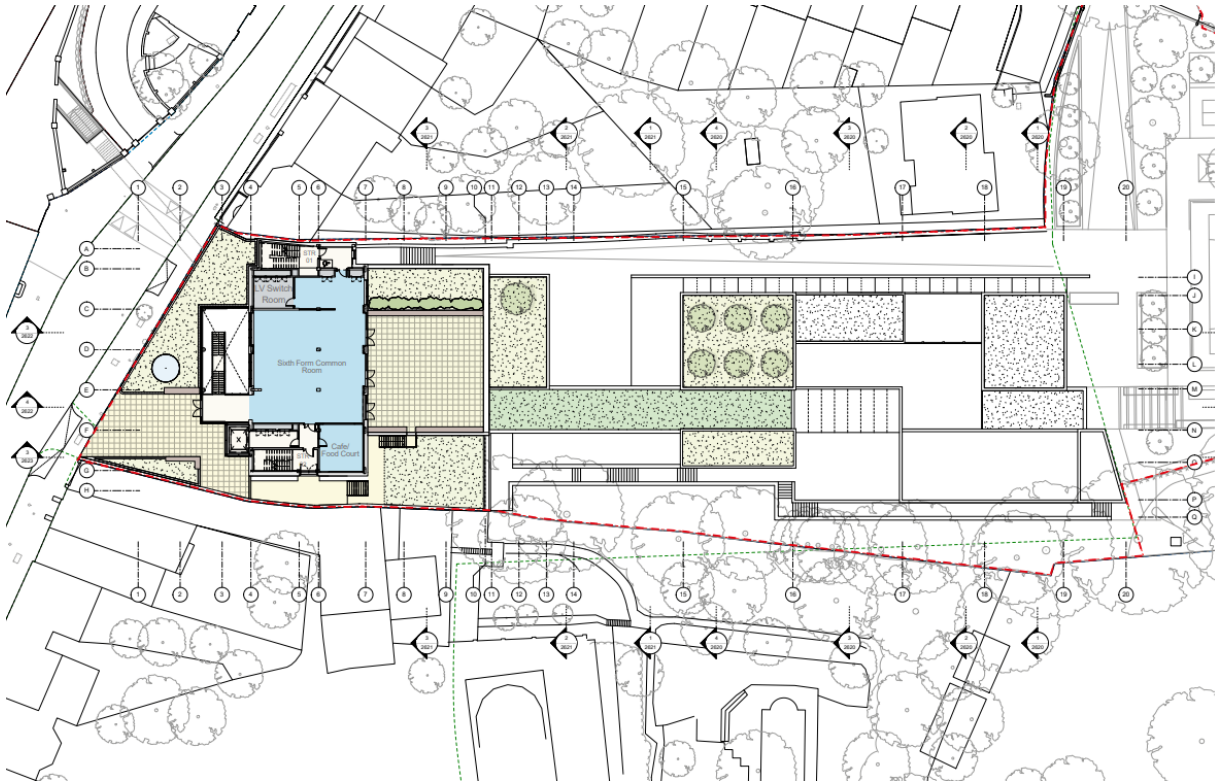
Site Location Plan



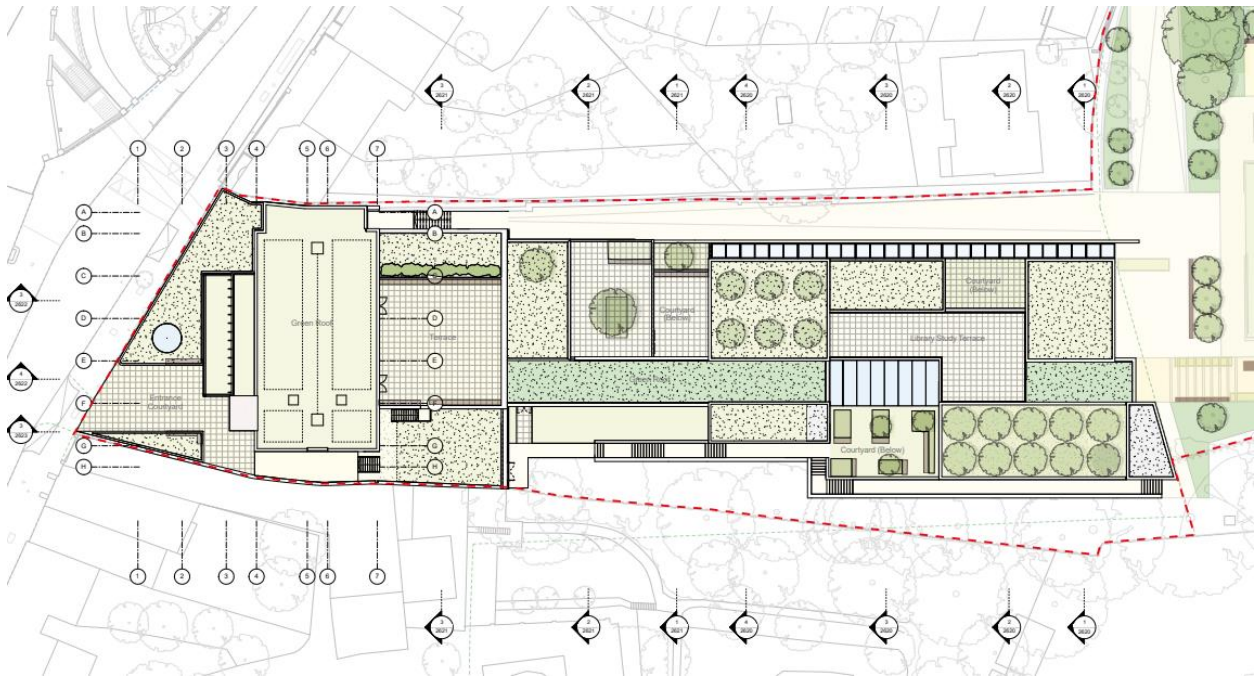
Photo of Front Elevation



Photo of Rear Elevation



Proposed Ground Floor Plan



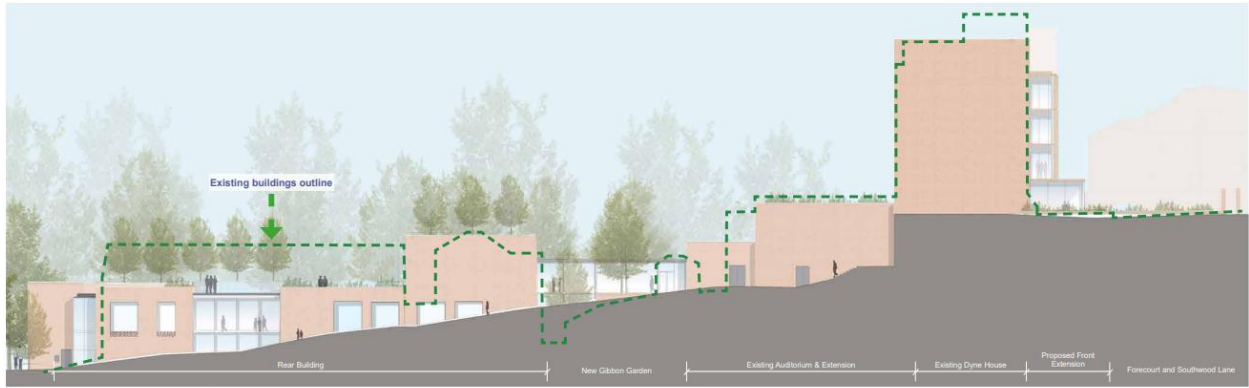
Proposed Roof Plan



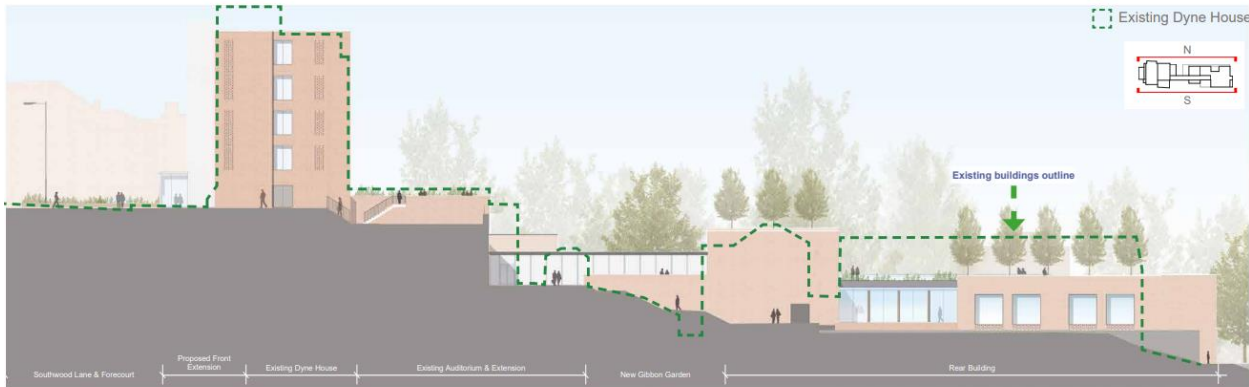
Image of Proposed Front Elevation



Section



North Elevation



South Elevation

Proposed North & South Elevations

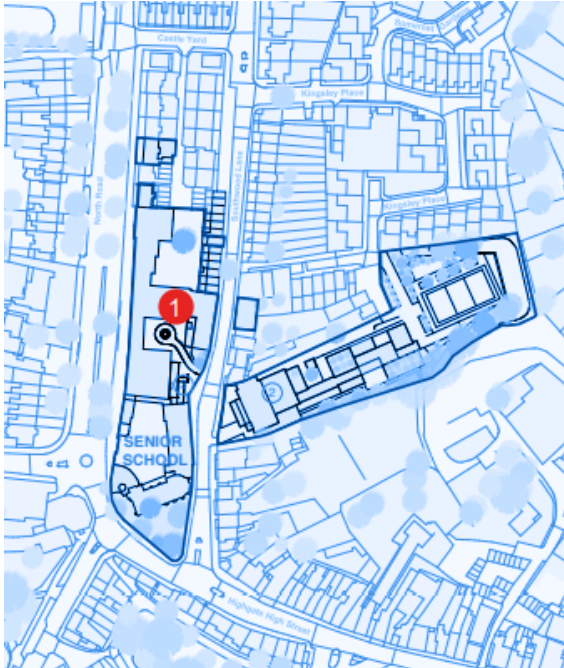


Photo of Island Site Service Block



Image of Island Site Proposed Service Block

Science Block



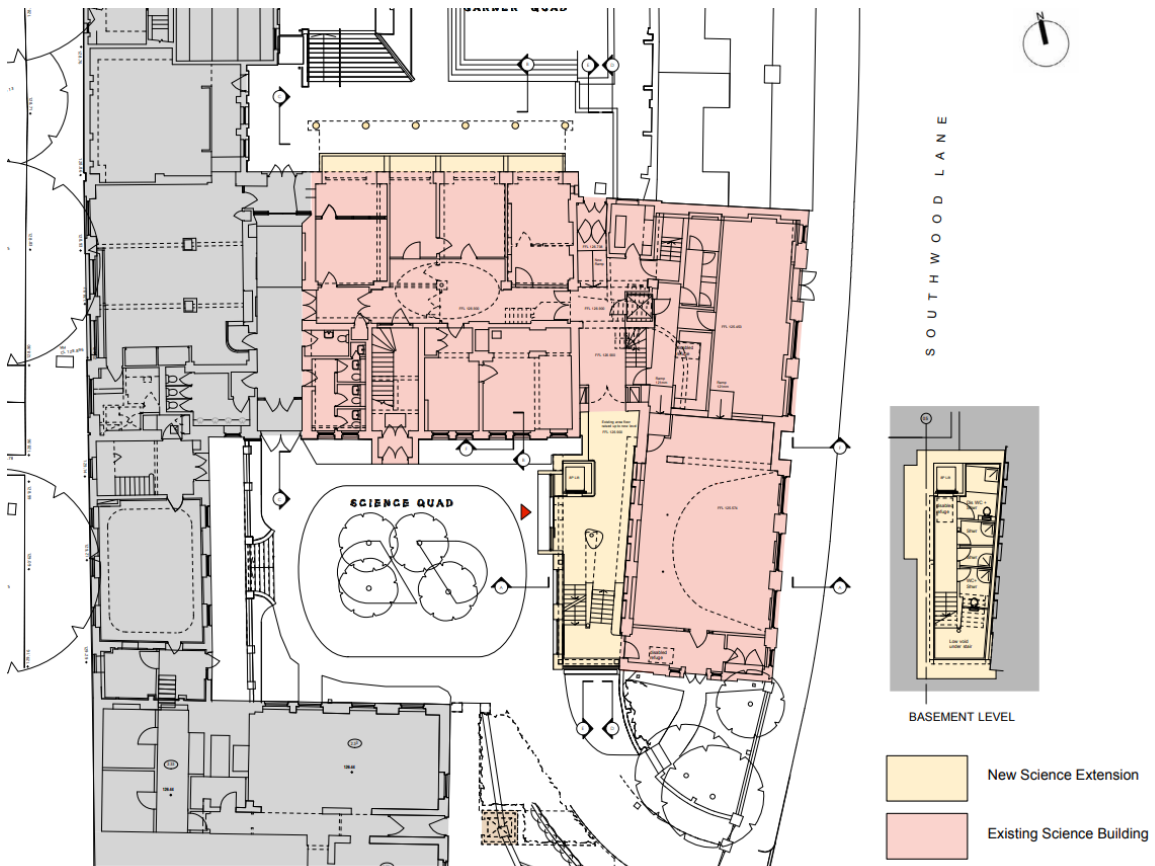
Site Location Plan



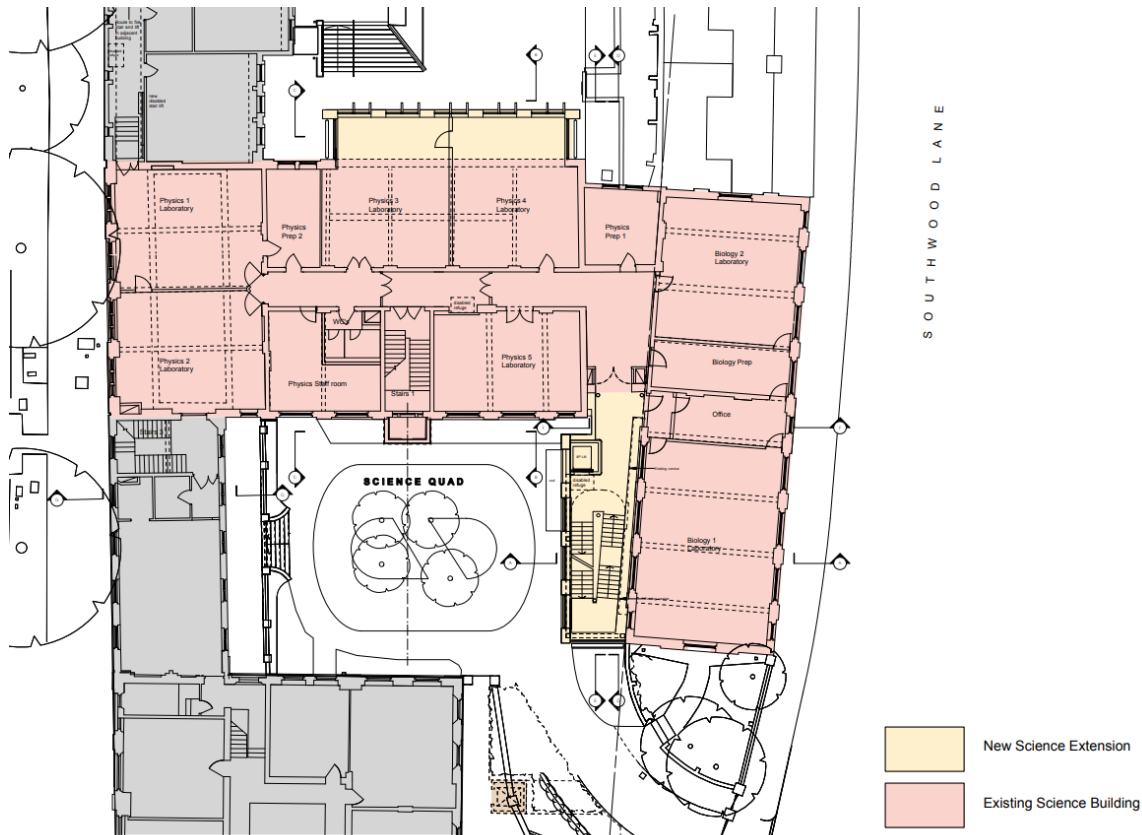
Aerial Image 1



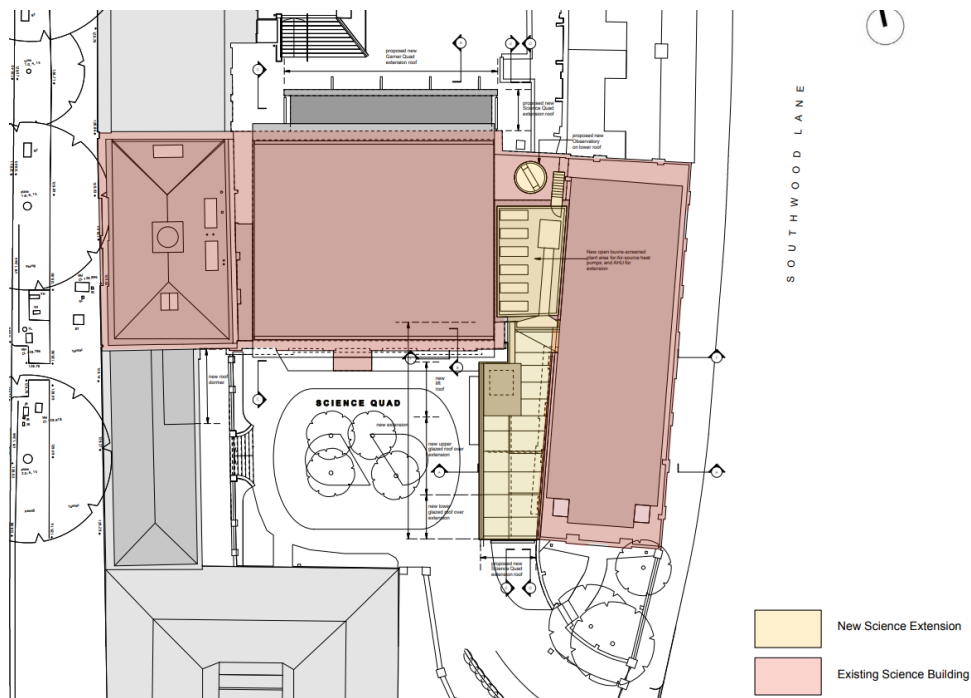
Aerial Image 2



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Roof Plan



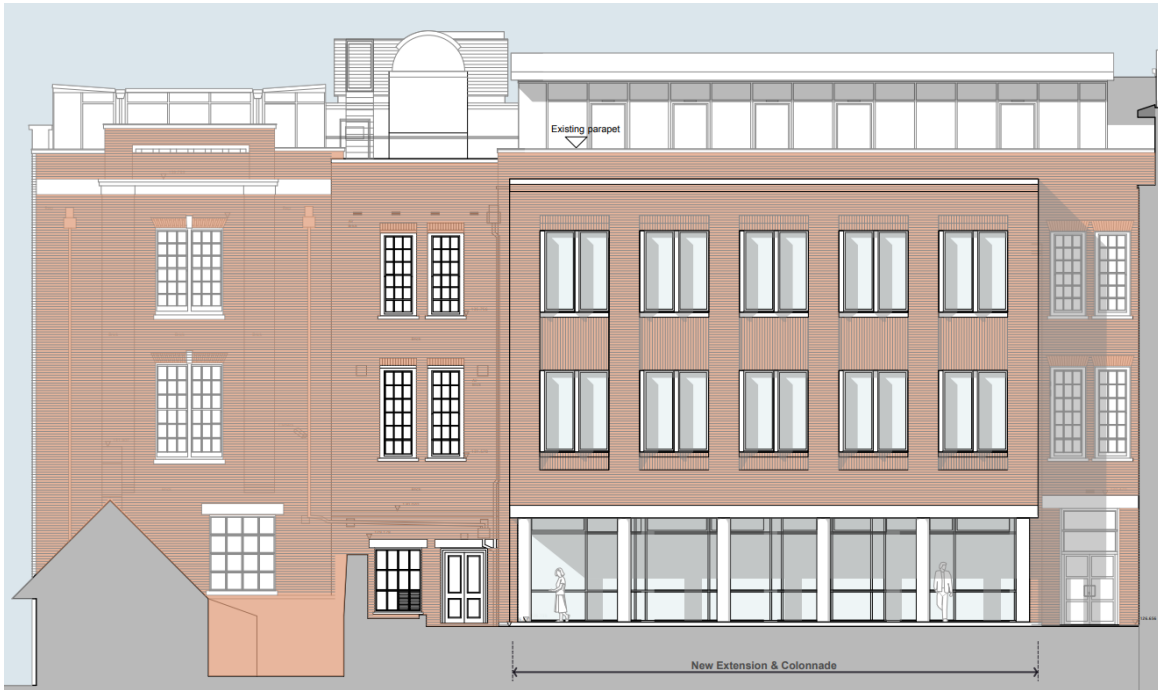
Proposed Western Elevation



Perspective View Western Elevation



Image of Proposed Southern Elevation



Proposed North Elevation



Perspective View North Elevation

Richards Music Centre



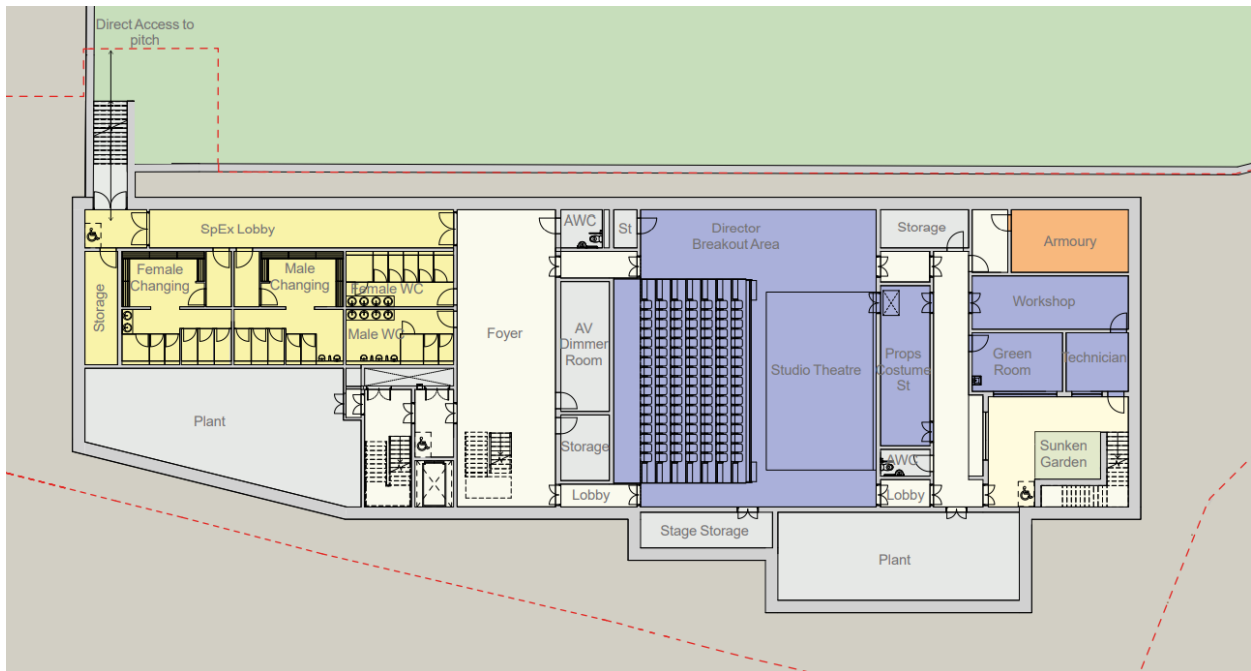
Site Location Plan



RMC Photo



Proposed Site Plan



Proposed Basement



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Front and Rear Elevations



Proposed Front Image



Proposed Side Image

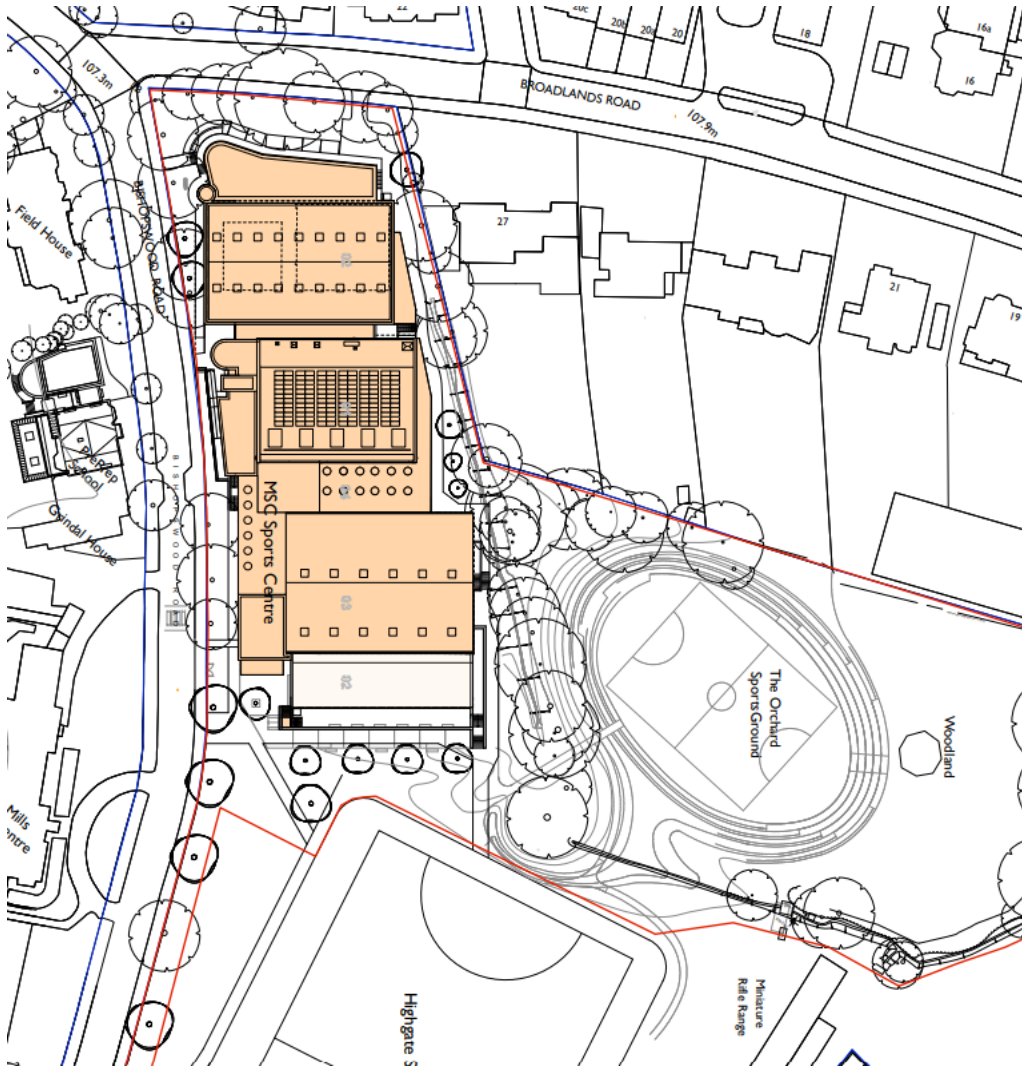
Mallinsons Sports Centre



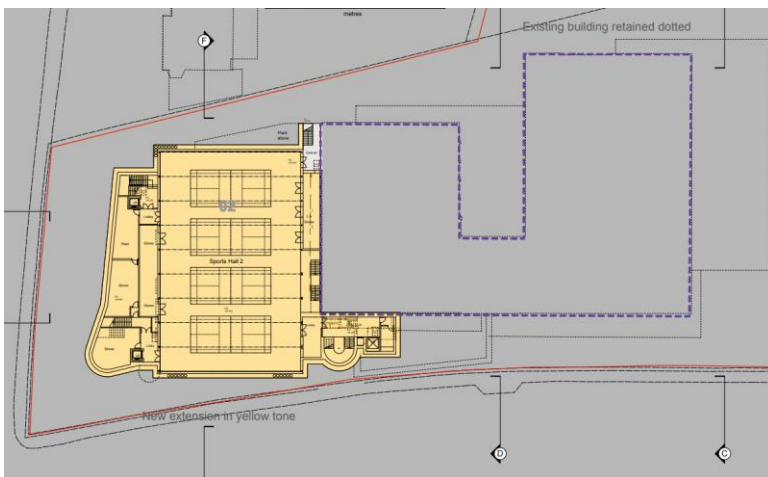
Site Location Plan



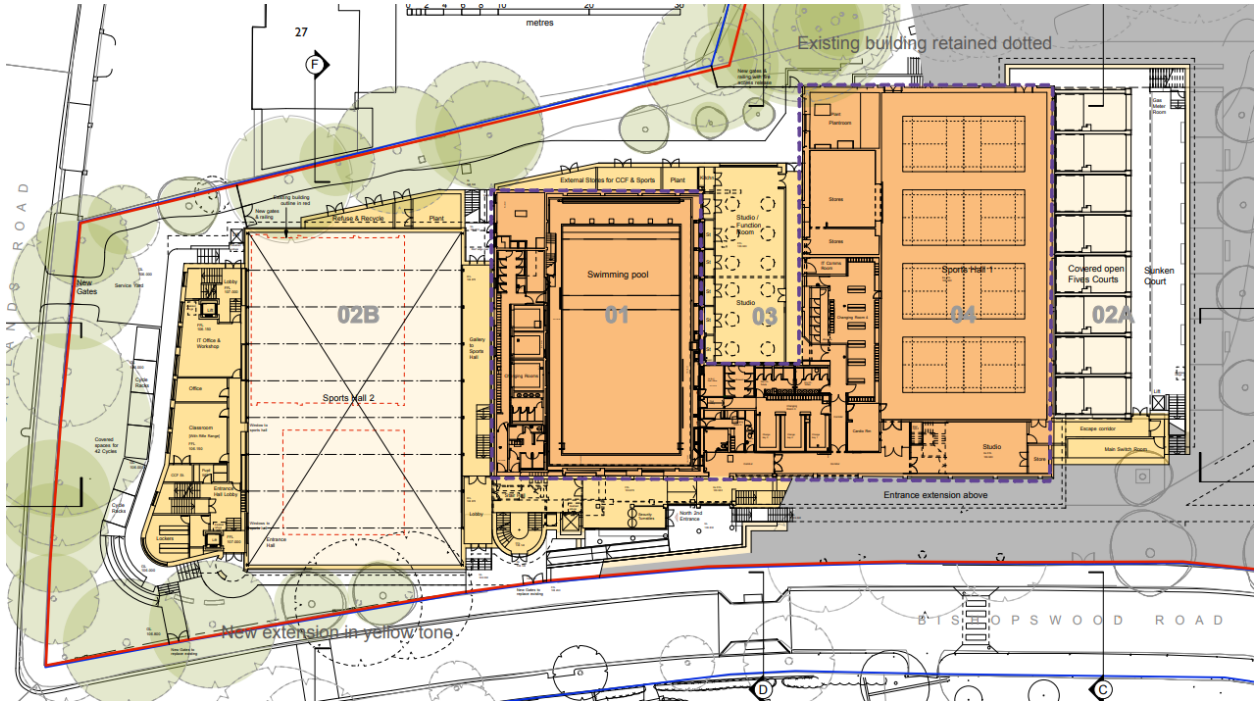
Aerial Image



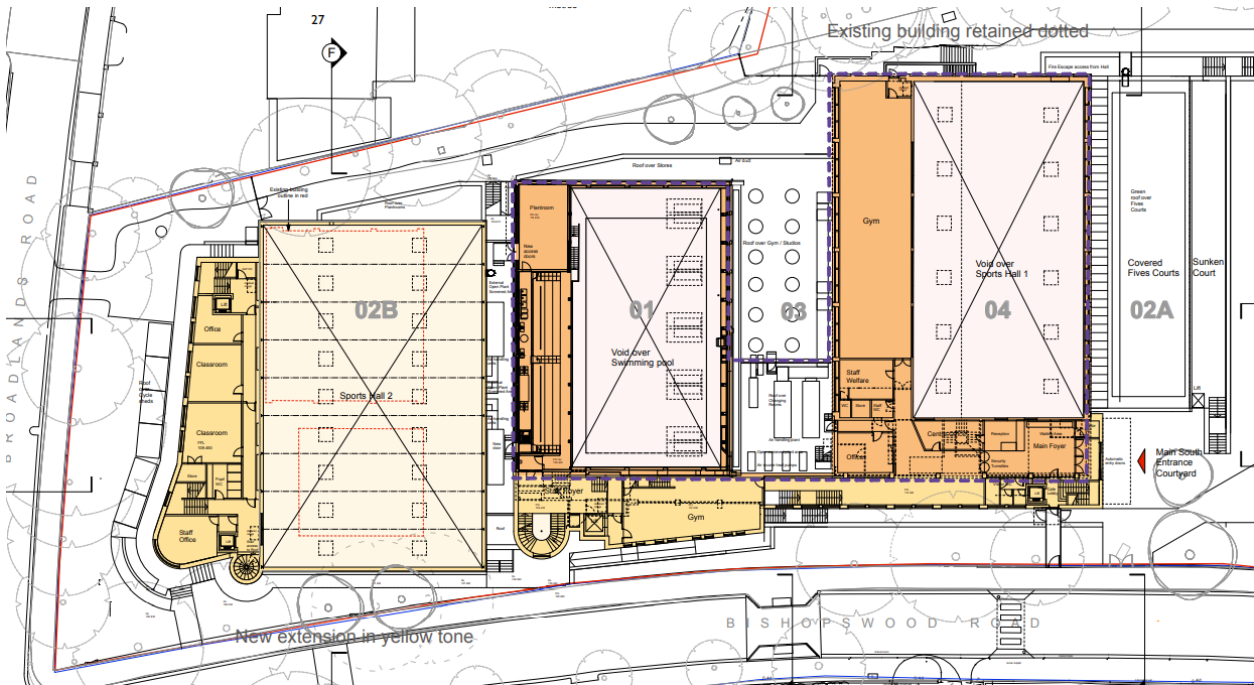
Proposed Site Plan



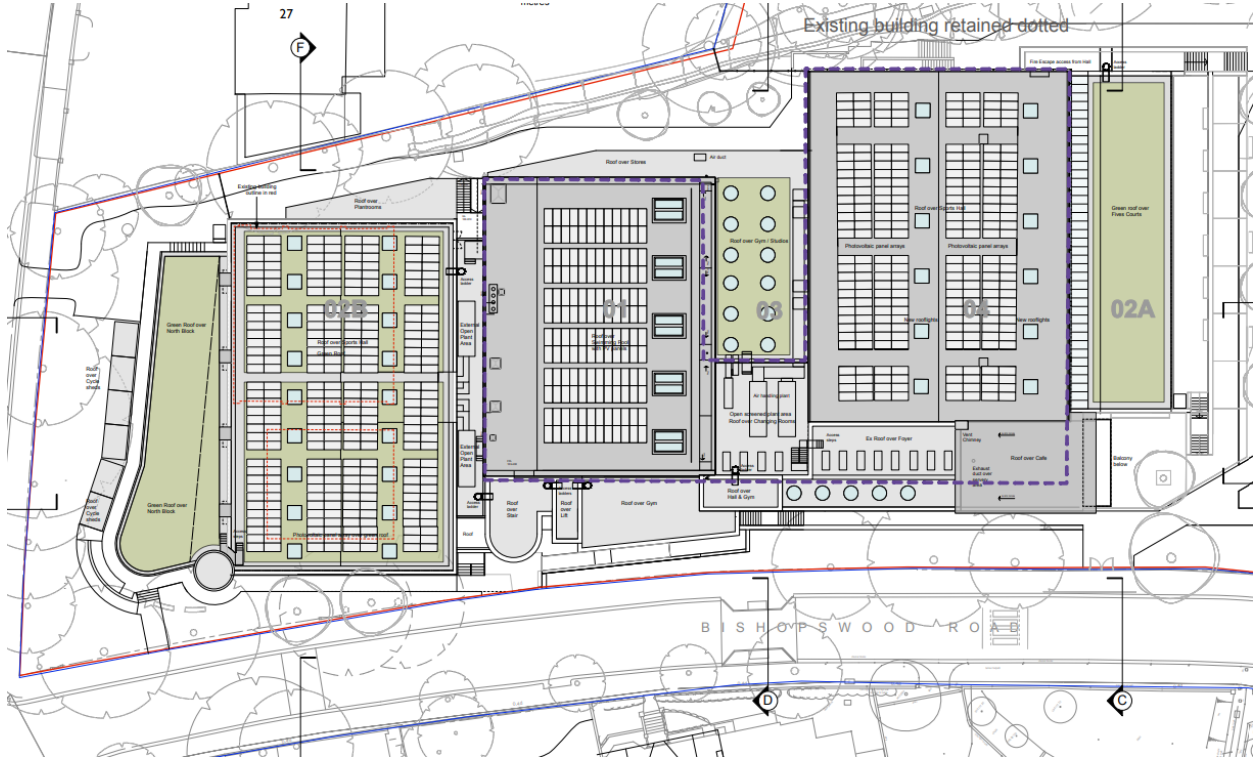
Proposed Basement



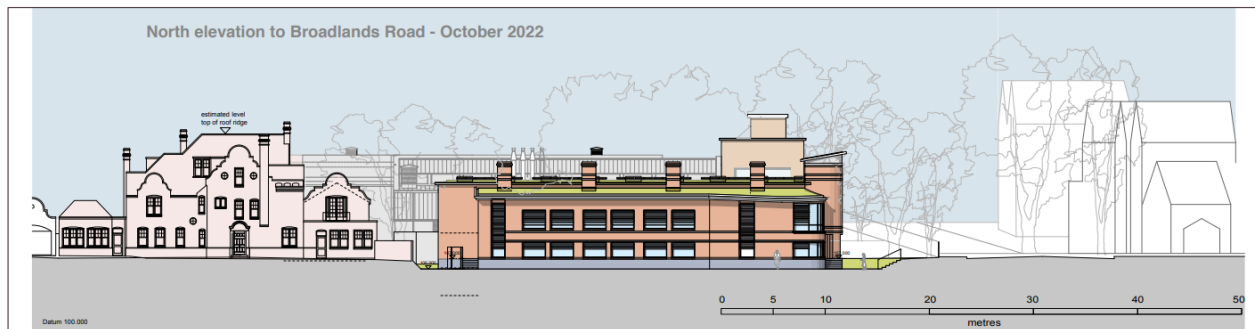
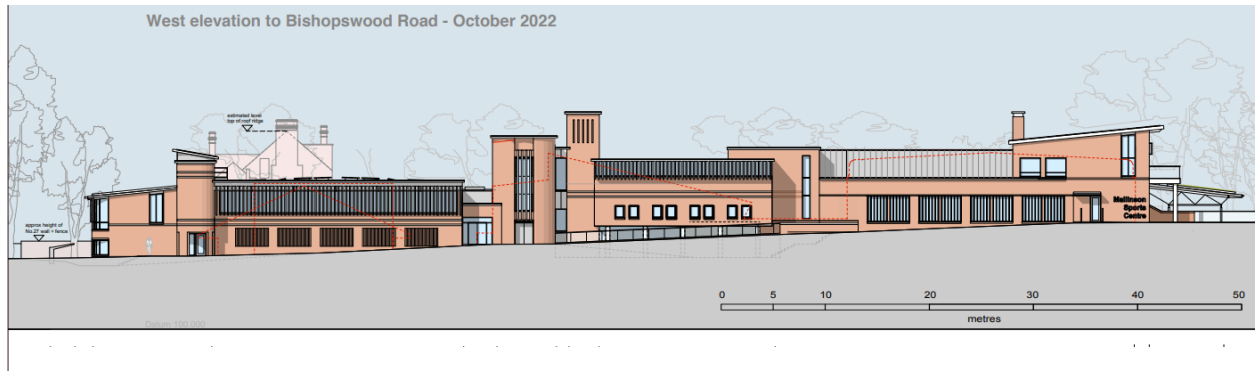
Proposed Basement/Ground Floor Plan



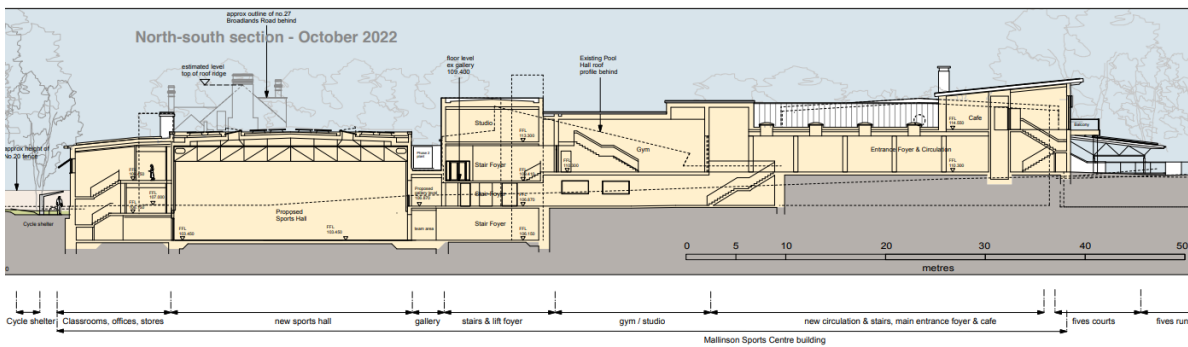
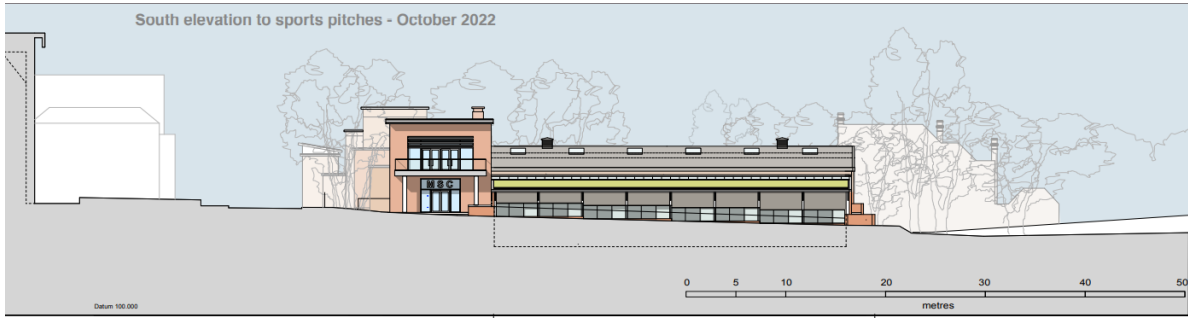
Proposed Ground Floor Plan/First Floor Plan



Proposed Roof Plan



Proposed West & North Elevation



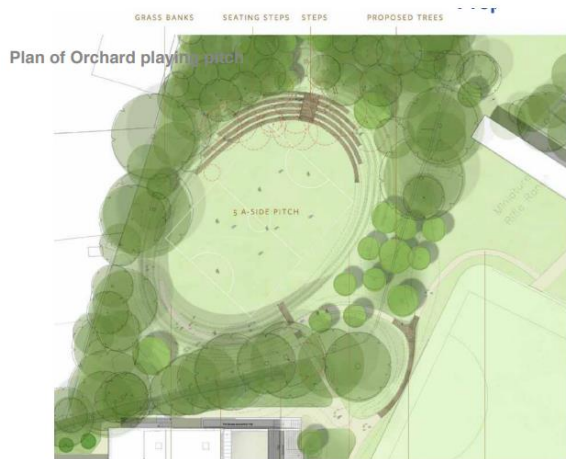
Proposed South Elevation & Section



Front Image



Rear Image

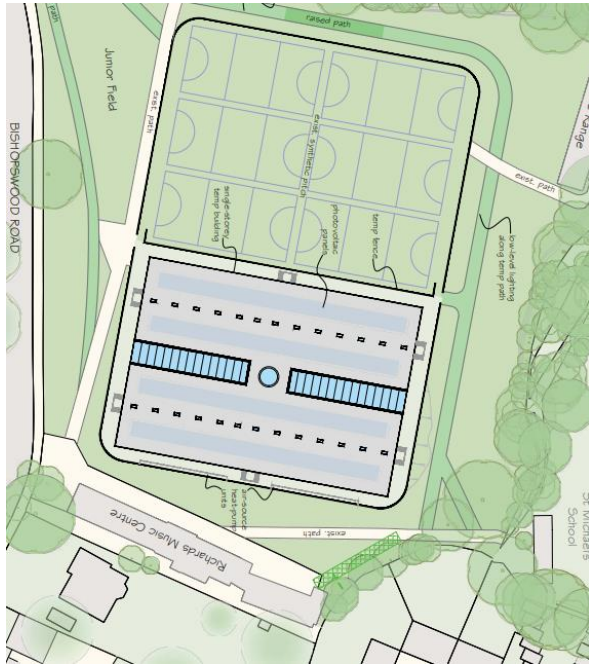


Oval Sports Pitch Plan

Decanting Facility



Site Location Plan



Proposed Site Plan
Farfield



Existing and Proposed Image

Appendix 1: Quality Review Panel Report – Dyne House

Appendix 2: Quality Review Panel Report – Science Block

Appendix 3: Quality Review Panel Report – Richards Music Centre

Appendix 4: Quality Review Panel Report – Mallinson Sports Centre

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FRAME PROJECTS

London Borough of Haringey Quality Review Panel

Report of Formal Review Meeting: Dyne House, Highgate School

Wednesday 2 February 2022
Highgate School, London, N6 4AY

Panel

Peter Studdert (chair)
Georgios Askounis
Marie Burns
Stephen Davy

Attendees

Richard Truscott	London Borough of Haringey
Suzanne Kimman	London Borough of Haringey
John McRory	London Borough of Haringey
Elisabetta Tonazzi	London Borough of Haringey
Joe Brennan	Frame Projects
Deborah Denner	Frame Projects

Apologies / report copied to

Rob Krzyszowski	London Borough of Haringey
Robbie McNaugher	London Borough of Haringey
Tobias Finlayson	London Borough of Haringey

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

CONFIDENTIAL**1. Project name and site address**

Dyne House, Highgate School, North Road, London, N6 4AY

2. Presenting team

Jack Gregory	Hopkins Architects
Ed Toovey	Ed Toovey Architects
Chris Birkbeck	Highgate School
Stephen Freeth	Highgate School
Gwyn Jones	Highgate School
Daniel O'Connell	Highgate School
Simon Martini	Highgate School
Mike Derbyshire	Bidwells
Christian Milner	Bidwells
Fiona Williams	Bidwells
Adrian Holmes	Peter Deer and Associates
John Edmondson	Aecom
Danny Pattle	TB&A

3. Planning authority briefing

Dyne House falls within site allocation SA41 Highgate School which provides a policy basis for enhancement of the school facilities, while simultaneously benefitting local communities. As required by the site allocation, the Highgate School Supplementary Planning Document was adopted in 2021. This sets out the Council's ambitions for the site, including references to the open character of the Highgate Bowl, and requirements to protect Metropolitan Open Land.

Highgate School is within the Highgate Conservation Area and therefore development should preserve or enhance its character and appearance. With specific regard to Dyne House, the Highgate Conservation Area Character Appraisal and Management Plan (December 2013) states that:

“the continuous building frontage and relative unity is interrupted by Highgate School's Dyne House, a five storey and basement teaching building with auditorium, constructed in brick and concrete, designed in 1965/66 by Ansell & Bailey. The building is set back from the road at an angle, which provide the site with front car access and parking. Whilst it is good example of its time, the scale of the building does not reflect the established scale and character of the street.”

The site is also within the area covered by the Highgate Neighbourhood Plan adopted in 2017, which has five core objectives relating to: social and community needs; economic activity; traffic and transport; open space and public realm; development and heritage. Planning officers asked for the panel's views on the emerging proposals, to inform the pre-application process.



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4. Quality Review Panel's views

Summary

The panel finds much to admire in the emerging designs for Dyne House at Highgate School. It welcomes the decision to retain and remodel the existing structure, which is beneficial in terms of embodied carbon. It encourages the applicant team to develop a holistic sustainability strategy for all the buildings being redeveloped. This could, for example, address re-use of materials and sharing of heat, as well as future proofing the site for installation of more efficient heating systems such as heat pumps. The way in which the new buildings at Dyne House step down towards the Highgate Bowl, is a positive response to the topography of the site. The panel also supports the direction in which the architecture is developing, with a material palette of brick, stone and glass. It suggests adding greater depth and interest to the facades, to reflect the qualities of the conservation area, particularly for the front elevation. Landscape design is well-integrated with the architecture, including proposals for sedum, meadow and tree planting at roof level. While supportive of this approach, the panel questions if sufficient soil depth is achievable for roof top trees to be delivered. It also queries whether new tree planting in the parade ground is desirable, and suggests that maximising sunlight may be more important. Maintenance of the existing mature trees, beyond the site boundary, may be a better way to enhance the setting of the sports area.

Sustainability and low carbon design

- The decision to retain and remodel the structure of Dyne House provides a strong basis for the project's sustainability and low carbon design.
- Where partial demolition takes place, the panel would encourage careful thought about re-use of materials.
- A circular economy strategy that takes a holistic approach to the different buildings being redeveloped at Highgate School could maximise opportunities for material re-use.
- Similarly, there may be potential for a holistic energy strategy, exploring the re-use of waste heat.
- Although the school has a recently installed a gas heating system, the site should be future proofed for installation of more efficient systems such as heat pumps. Considering space requirements to allow this will be essential.
- The panel would encourage clear embodied carbon targets to be set as part of the planning submission.
- While a 35 per cent reduction in CO² emissions beyond Building Regulation requirements is proposed, the panel would encourage the team to aim for a more ambitious target.



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- The Department for Education's *School Output Specification Generic Design Brief (November 2021)* and *Technical Annex 2H: Energy* provide a useful benchmark for setting energy and sustainability targets.
- Both photovoltaic panels and biodiverse roofs are proposed, and achieving the ideal balance between these will need careful thought.
- As a general comment, the panel would encourage an approach that maximises biodiversity net gain.
- South facing glazed corridors risk overheating, and may benefit from greater solidity or shading.

Place-making, character and quality

- The designs for Dyne House step down towards the Highgate Bowl, responding positively to the topography of the site.
- The panel supports this approach, which is sympathetic to both the landscape and townscape character of Highgate.
- It welcomes the materiality of brick, stone and glass, but would encourage further refinement of the front elevation. The stone fins appear slightly flimsy, and the stone cladding of the lift tower seems rather flat.
- Although the panel understands that the solidity of the lift is a response to concerns raised by neighbours, it asks the design team to revisit opportunities for more openings, depth, texture, and interest in the lift tower.
- The panel also asks for careful thought about the junctions between different materials, for example where the stone lift tower meets the brick side elevation.
- The panel has every confidence in the skills of the design team to enrich the architecture, adding depth and interest that reflects the qualities of the conservation area.

Landscape design

- Landscape proposals for Dyne House include improvements to the parade ground, and a sequence of spaces both at grade and roof level, as the building steps down the site.
- This integration of building and landscape is welcomed, and the panel offers some comments on how this approach could evolve.
- The panel questions the realism of the trees shown at roof level above the seminar rooms and electronic diary. Although potentially an attractive feature, sufficient soil depth may not be achievable.



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- The parade ground is surrounded by mature trees, which may benefit from maintenance to improve their health and appearance. Although they are outside the site boundary, the panel would encourage the school to offer to undertake this work as part of the project.
- The panel also questions whether additional tree planting in the parade ground is desirable, considering the extent of existing trees. For students to enjoy this space, maximising sunlight may be more important and new trees will increase shade.
- Sustainable urban drainage will be an important aspect of the landscape designs. Technical studies will be needed to ensure the feasibility of the drainage plans on this steeply sloping site.
- More detailed landscape designs should be provided as part of the planning submission, to address the issues above and give confidence in deliverability.
- Similarly, ongoing landscape management and maintenance will be important to the success of Dyne House. This could be described in the planning application.

Inclusive design

- Improved accessibility is a key benefit of the plans for Dyne House, addressing the challenges of existing buildings and the site topography.

Next steps

The panel is confident that the applicant team will be able to address its comments, in consultation with planning officers.



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Appendix: Haringey Development Management DPD

Policy DM1: Delivering high quality design

Haringey Development Charter

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
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Design Standards

Character of development

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 - d Maintaining a sense of enclosure and, where appropriate, following existing building lines;
 - e Rhythm of any neighbouring or local regular plot and building widths;
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 - g Distinctive local architectural styles, detailing and materials.



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FRAME PROJECTS

London Borough of Haringey Quality Review Panel

Report of Formal Review Meeting: Science Block, Highgate School

Wednesday 2 February 2022
Highgate School, London, N6 4AY

Panel

Peter Studdert (chair)
Georgios Askounis
Marie Burns
Stephen Davy

Attendees

Richard Truscott	London Borough of Haringey
Suzanne Kimman	London Borough of Haringey
John McRory	London Borough of Haringey
Elisabetta Tonazzi	London Borough of Haringey
Joe Brennan	Frame Projects
Adrian Harvey	Frame Projects

Apologies / report copied to

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Aikaterini Koukouthaki	London Borough of Haringey
Tobias Finlayson	London Borough of Haringey

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1. Project name and site address

Highgate School Science Block Refurbishment and Extension project, North Road, Highgate, Haringey, London, N6 4AY

2. Presenting team

Ed Toovey	Ed Toovey Architects
Danny Pattle	Troup Bywaters & Anders
Jon Moraza	Troup Bywaters & Anders

3. Planning authority briefing

The Science Block falls within site allocation SA41 Highgate School for the exploration of how school facilities can be enhanced while simultaneously benefitting local communities and increasing accessibility through the landholdings. All of the Highgate School campus is within the Highgate Conservation Area and therefore development should preserve or enhance its character and appearance as per the statutory requirements. With specific regard to the Science Block, the relevant appraisal states that: *“All the statutory buildings make a positive contribution to the character of the area”*.

Given that the Science Block, while not specifically listed itself, is at this stage considered to be ‘curtilage listed’ by the listing of the adjacent Grade II ‘Old School Building’, it makes a positive contribution to the conservation area. Officers would therefore particularly welcome the panel’s comments on the way in which the proposals relate to the existing building and the two quadrangles.



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4. Quality Review Panel's views

Summary

The panel thanks the design team for their presentation, which demonstrates the degree of careful thought that has been applied to an ostensibly simple project. The result is a very successful set of proposals that relate well to and enhance the existing buildings and spaces. The panel is particularly appreciative of the way that the scheme restores the form and function of the two quadrangles. The approach to sustainability is welcome, although some further analysis of the potential for overheating in the Science Quad extension is necessary. Finally, the panel suggests that some modification to the alignment of the southern elevation of the Science Quad extension may help to refine the visual impact of the building as viewed from Southwold Lane.

Building form and relationship to context

- The panel feels that the Science Quad extension is a sensitive modern addition that is wholly appropriate for a science building. It appreciates the openness of the building, which allows views onto the activity within. The subtle but extensive glazing also has the potential to create a beautiful interior environment.
- This extension will, however, require careful detailing, as it will restrict the public view from Southwold Lane into the square and onto the Edwardian façade of the main building. The panel suggests that aligning the southern elevation be to the main building (at right angles to its western façade), rather than to the main gable end of the eastern wing, may be beneficial.

Landscape and public realm

- The proposals successfully restore the quadrangles, in form and function. The proposed landscape also provides a collegiate environment to the squares, and creates a strong sense of identity
- The restored symmetry of the Science Quad, in particular, enhances the space and clarifies the primacy of the main entrance.
- The north facing colonnade onto Garner Quad will be relatively dark and gloomy, and particular attention should be paid to materials and detailing.

Sustainable design

- The panel commends the scheme for adopting an all-electric energy strategy, which it feels sets a good precedent for other buildings in a heritage setting.
- Further detail on the bridging connections for the Science Quad extension would be helpful, to ensure that energy loss is minimised.



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- The panel would like to see rigorous modelling undertaken to ensure that the potential risk of overheating within the Science Quad extension is properly understood and addressed. In particular, the louvred southern elevation may require a greater degree of solidity to mitigate this.

Next steps

The panel is confident that the design team, working with Haringey officers, can resolve the issues identified by the review, and does not need to see the scheme again.



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Appendix: Haringey Development Management DPD

Policy DM1: Delivering high quality design

Haringey Development Charter

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
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FRAME PROJECTS

London Borough of Haringey Quality Review Panel

Report of Formal Review Meeting: Music Centre, Highgate School

Wednesday 2 February 2022
Highgate School, London, N6 4AY

Panel

Peter Studdert (chair)
Georgios Askounis
Marie Burns
Stephen Davy

Attendees

Richard Truscott	London Borough of Haringey
Suzanne Kimman	London Borough of Haringey
John McRory	London Borough of Haringey
Elisabetta Tonazzi	London Borough of Haringey
Joe Brennan	Frame Projects
Adrian Harvey	Frame Projects

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CONFIDENTIAL

1. Project name and site address

Richards Music Centre, Highgate School, North Road, London, N6 4AY

2. Presenting team

Chris Birkbeck	Highgate School
Gwyn Jones	Highgate School
Andrew Barnet	Hopkins
Jack Gregory	Hopkins
John Edmondson	Aecom

3. Planning authority briefing

All of the Highgate School campus is within the Highgate Conservation Area and therefore development should preserve or enhance its character and appearance as per the statutory requirements. The Music Centre site falls within site allocation SA41 Highgate School for the exploration of how school facilities can be enhanced while simultaneously benefitting local communities and increasing accessibility through the landholdings. Part of the site (the northeastern corner) falls within Metropolitan Open Land. Therefore, the relevant requirements of the NPPF 2021 (paragraph 147 and 148) and the London Plan 2021 (Policy G3) need to be met, notably that very special circumstances can be demonstrated. Officers would particularly welcome the panel's comments on the way that the proposals relate to Bishopswood Road and to the residential properties immediately to the south of the site.



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4. Quality Review Panel's views

Summary

The panel thanks the design team for their presentation and feels that the scheme has the potential to create an attractive and successful building. The approach to landscape and greening is supported, and the panel is comfortable with the technical incursion into Metropolitan Open Land. The building now relates well to Bishopswood Road, and the interface with the neighbouring houses is comfortable, with no risk of overlooking or overshadowing. The panel feels that the elevations and materials are well-judged, and that the roof form is a good solution. The approach to sustainable design is commended, although the panel would like to see the extent of glazing tested, to ensure that this is optimised.

Architecture and building form

- The panel feels that the elevations are successful and that, combined with the materials selected, this will create an attractive façade to the building.
- While it has some concerns about the orientation of the pitch, which turns its back on the street, the panel feels that the roof form is, on balance, the best available solution.

Landscape design

- The increase in planting and trees across the site is welcome, and the panel is particularly supportive of the two gardens, created by the building's set back and amended orientation.

Relationship to context

- The panel feels that the proposed building now relates well to Bishopswood Road and addresses the street effectively. The boundary treatment here, including the brick piers and planting, helps to create a successful interface.
- The relationship with the neighbouring houses is comfortable, with sufficient space to avoid problems of overlooking and overshadowing.
- The panel is satisfied that the incursion into Metropolitan Open Land is justified, particularly given the additional greening brought by the scheme, compared to the current condition.

Sustainable design

- The panel feels that the approach to sustainability is positive, but it would like to see a calculation of the scheme's embodied carbon.



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- The panel feels that the building's form factor, the proposed use of a timber structure and the use of heat pumps strengthen the building's potential environmental performance.
- However, the panel is concerned by the extent of glazing proposed and it recommends that this is reassessed, with excess glazing removed.
- The panel would like to see cycle parking provided for visitors.

Next steps

The panel is confident that the design team, working with Haringey officers, can resolve the issues identified by the review, and does not need to see the scheme again.



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Appendix: Haringey Development Management DPD

Policy DM1: Delivering high quality design

Haringey Development Charter

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
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FRAME PROJECTS

London Borough of Haringey Quality Review Panel

Report of Formal Review Meeting: Mallinson Sports Centre, Highgate School

Wednesday 2 February 2022
Highgate School, London, N6 4AY

Panel

Peter Studdert (chair)
Georgios Askounis
Marie Burns
Stephen Davy

Attendees

Richard Truscott	London Borough of Haringey
Suzanne Kimman	London Borough of Haringey
John McRory	London Borough of Haringey
Elisabetta Tonazzi	London Borough of Haringey
Joe Brennan	Frame Projects
Deborah Denner	Frame Projects
Adrian Harvey	Frame Projects

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Rob Krzyszowski	London Borough of Haringey
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CONFIDENTIAL**1. Project name and site address**

Highgate School, Mallinson Sports Centre (MSC), Bishopswood Road, Highgate, London N6 4NY

2. Presenting team

Ed Toovey	Ed Toovey Architects
Chris Birkbeck	Highgate School
Stephen Freeth	Highgate School
Gwyn Jones	Highgate School
Simon Martini	Highgate School
Daniel O'Connell	Highgate School
Mike Derbyshire	Bidwells
Christian Milner	Bidwells
Fiona Williams	Bidwells
Jack Gregory	Hopkins Architects – observer
Adrian Holmes	Peter Deer & Associates
Danny Campdifiore	Peter Deer & Associates
John Edmondson	Aecom

3. Planning authority briefing

The Mallinson Sport Centre falls within site allocation SA41 Highgate School for the exploration of how school facilities can be enhanced while simultaneously benefitting local communities and increasing accessibility through the landholdings. All of the Highgate School campus is within the Highgate Conservation Area and therefore development should preserve or enhance its character and appearance as per the statutory requirements. With specific regard to Mallinson's Sport Centre, the relevant appraisal (Highgate Conservation Area Character Appraisal and Management Plan – December 2013) states at paragraph 10.4.32 that:

“There are, however, a number of buildings connected with the School which detract from the environment, especially the sports centre swimming pool.... These have a somewhat industrial appearance and the cladding and roofing materials are not well maintained”

Part of the Sport Centre site falls within Metropolitan Open Land. Therefore, the relevant requirements of the NPPF 2021 (paragraph 149) and the London Plan 2021 (Policy G3) need to be met, in this specific case, whether the facilities would preserve the openness of the Metropolitan Open Land and do not conflict with the purposes of including land within it. Officers would therefore welcome the panel's comments on the relationship of the scheme with MOL, as well as the alignment, rhythm and geometry of proposed buildings in relation to their immediate context.



CONFIDENTIAL**4. Quality Review Panel's views***Summary*

The panel thanks the design team for their presentation and feels that the strategic approach that the design team has adopted promises to deliver a successful facility that offers much to the school and wider community. It welcomes the ambitions for sustainable design that have been adopted, but urges further progress here, where possible. In particular, given operational energy requirements of the swimming pool, the panel would like to see every opportunity taken to minimise the emissions associated with it, now and in the future. The functional limitations of a sports hall are noted, but the panel feels that some opportunities exist for enriching the architecture, through materials, detailing and fenestration. The approach taken to the southern elevation, incorporating the five courts, successfully enhances what is currently a bland façade, and the panel feels that this justifies the minor encroachment onto Metropolitan Open Land.

Sustainable and low carbon design

- The panel is pleased to see that most of the existing buildings are to be retained, with surplus materials reused where possible.
- Targetting a 35 per cent reduction in carbon emissions is welcome, but the panel would urge the design team to aim for best practice over and above this target. With this in mind, any opportunities to further improve the energy efficiency of the fabric of the swimming pool should be taken.
- The panel recognises that the gas-fired heating for the swimming pool has recently been upgraded and that it is unlikely to be possible to replace it at this point. However, it feels that provision should be made for the transition to low carbon energy in the future. For example, sufficient space should be made available to allow for heat pumps to be installed.
- The panel would also like to see consideration given to options for reducing chemical use in the pool, for example by installing ceramic membrane filtration.
- The panel feels that a thorough assessment of the value of the proposed green roofs should be undertaken, to ensure that the benefits justify their inclusion.
- The panel welcomes the ambitions for roof-top PVs, but would like to understand how these will work with the proposed green roofs. It also would like to consider ways in which the visual impact of roof-top PVs on the elevations can be mitigated.



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Architecture and elevational treatment

- The panel understands that there is a clear and limited specification for a sports hall, but would nonetheless like to see a richer architectural expression brought to the elevations. Opportunities exist to use fenestration and roof-form to create a stronger response to the building's setting, particularly along the long elevation fronting Bishopswood Road.
- The classroom block fronting Broadlands Road could benefit from a simpler form, particularly at the corner with Bishopswood Road. The panel does not feel that it is necessary to reflect the geometry of the existing building line in order to relate to the residential context of the street.

Landscape and public space

- The panel does not have concerns about the encroachment onto Metropolitan Open Land along its southern edge and feels that the treatment of the five courts improves the façade facing onto the sports fields.
- The panel feels that the gardenesque approach to landscape design is aesthetically interesting but notes that, given the role of landscape in surface water management, planting and species will need to be sufficiently robust to cope with water flows and flooding.
- The panel are very supportive of the proposals for the sunken playing field, but notes that care will be needed in selecting materials and plant species to ensure that they are appropriate to their setting, in all conditions.

Community access

- The panel is supportive of the intention to make the facilities available to the wider community but notes that, to achieve this, provision will need to be made for cycle parking for visitors, as well as a clear and legible visitors' entrance.

Next steps

The panel is confident that the design team, working with Haringey officers, can resolve the issues identified by the review, and does not need to see the scheme again.



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Appendix: Haringey Development Management DPD

Policy DM1: Delivering high quality design

Haringey Development Charter

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Pre-Application Briefing to Committee

1. DETAILS OF THE DEVELOPMENT

Reference No: PPA/2020/0002

Ward: Highgate

Address: Land Adjacent 505-511 Archway Road, London, N6

Proposal: Redevelopment of existing car-wash site to provide 16 new homes for Council rent comprising a part three, part four-storey apartment building fronting Archway Road, and two houses fronting Baker's Lane with associated refuse/recycling and cycle stores, amenity space and landscaping. Provision of one on-street wheelchair accessible parking space and service lay-by on Archway Road.

Applicant: London Borough of Haringey

Agent: Newground Architects

Ownership: Council

Case Officer Contact: Mark Chan

2. BACKGROUND

- 2.1. The proposed development is being reported to the Planning Sub-Committee to enable members to view it ahead of the submission of a full planning application. Any comments made are of a provisional nature only and will not prejudice the final outcome of any formally submitted planning application.
- 2.2. It is anticipated that the planning application, once received, would be presented to the Planning Sub-Committee in 2023. The applicant has engaged in pre-application discussions with Council Planning Officers and Transport for London over recent months.

3. SITE AND SURROUNDINGS

- 3.1. The site is near the edge of Highgate Conservation Area, with the surrounding area containing mostly residential dwellings of two to three storeys in height. The site fronts onto Archway Road (A1) and Baker's Lane. The junction with Baker's Lane is currently part of a Red Route gyratory system. The low-lying structures on the application site and the large petrol filling and service station site next-door, as well as the wide traffic routes here, are viewed as detractors to the entrance of Highgate Conservation Area.



Image 1: Application site (red line)

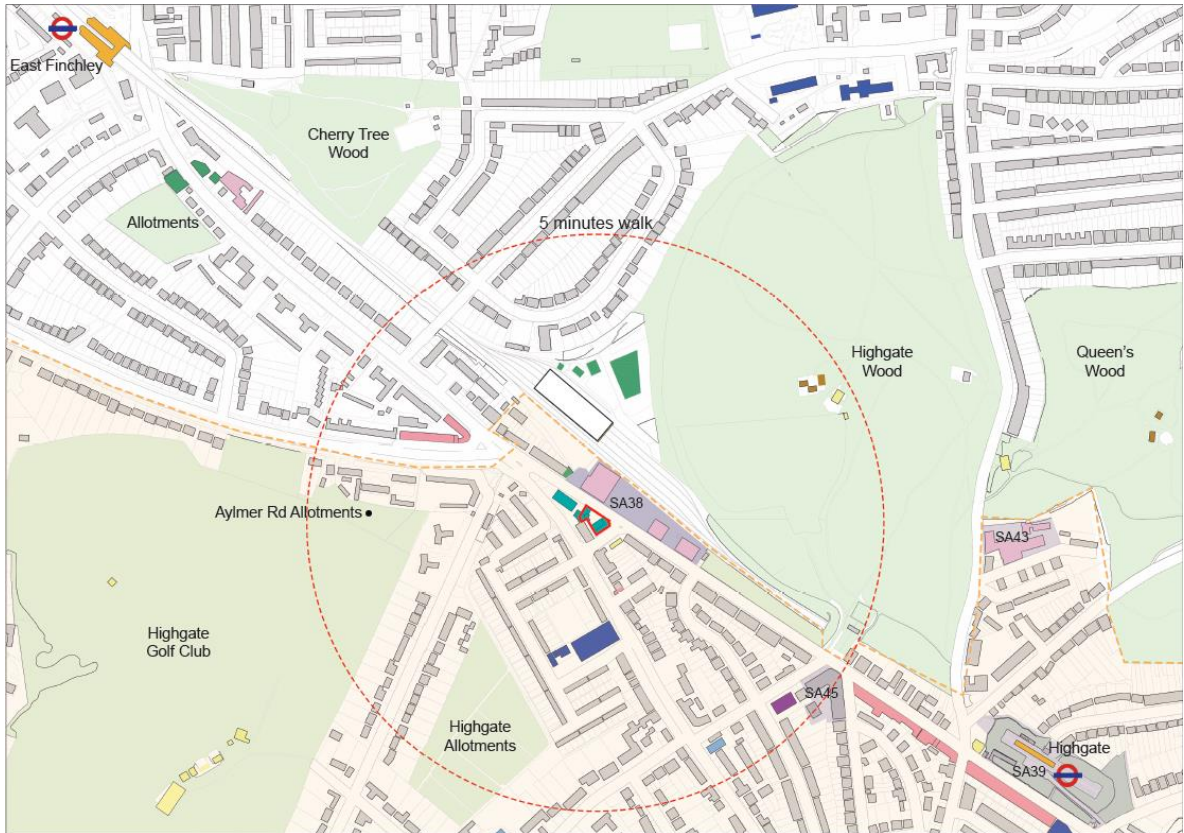


Image 2: Site Allocation boundary

4. PROPOSED DEVELOPMENT

- 4.1. The proposal is for the redevelopment of an existing Council owned site to provide 16 new homes for council rent. The new homes would be a mix of accommodation comprising 11x 2-bed 4-person flats, 1x 3-bed 5-person flat, and 2x 1-bed 2-person wheelchair homes directly accessed at ground floor as well as 2x standalone 2-bed 4-person houses along Baker's Lane. Associated amenity space, landscaping, cycle parking and refuse and service space would be constructed together with parking for wheelchair home residents and public realm improvements.



Image 3: Site for redevelopment



Image 4: Development proposal

- 4.2. All new residential properties provided within the development would be Council Affordable Rent homes. Two homes would be wheelchair accessible. All dwellings would be dual aspect.
- 4.3. The development would create a new landscaped garden and children's play area at the centre of the site away from the busy roads.
- 4.4. No car parking spaces would be provided within the application site except for 1 disabled parking bay to be provided along Archway Road. Secure cycle parking provided in communal stores and within individual flats.

5. PLANNING HISTORY

- 5.1. In the 1960s Archway Road became blighted when a proposal by the Ministry of Transport to develop a motorway/standard dual carriageway from Wellington Inn (next to the application site) down to the junction with Archway Bridge was conceived. This proposal would have led to the demolition of about 170 houses and shops and significant environmental changes. The plan was finally shelved in March 1990.
- 5.2. The Wellington Inn was demolished in 1988, and replaced with the current Wellington Service Station. The car wash building which now occupies the site is thought also to date from this period.

5.3. The most relevant application site history is as follows:

505 Archway Road

- HGY/2009/1732 – Conservation Area Consent for demolition of existing structures and erection of two storey building comprising mixed use residential development, to provide 1 commercial unit for A2 / B1 use on the ground floor and residential units at ground floor / first floor comprising 6 x two bed flats and 1 x one bed flat with associated landscaping. Withdrawn.
- HGY/2009/1730 – Demolition of existing structures and erection of two storey building comprising mixed use residential development, to provide 1 commercial unit for A2 / B1 use on the ground floor and residential units at ground floor / first floor comprising 6 x two bed flats and 1 x one bed flat with associated landscaping. Withdrawn.

6. CONSULTATIONS

Public Consultation

6.1. The applicant has undertaken its own public consultations with local amenity groups, Highgate Society, Highgate Neighbourhood Forum and Highgate Conservation Area Advisory Committee (CAAC) as well as consultation with local residents. Further pre-application consultation is to take place and a Development Management Forum is scheduled for December 2022.

Quality Review Panel

6.2. Earlier versions of the proposal have been assessed by the Council's Quality Review Panel (QRP) on 29th June 2022 and 19th October 2022. The QRP's report from the latest review is not yet available. This will be attached as an addendum to the Committee agenda. The QRP's report from the June 2022 review is attached in **Appendix 1**.

6.3. In respect of the scheme presented in June 2022 the panel appreciated the work carried out to develop the options for such a very challenging site. It made suggestions to ensure the most appropriate accommodation for such a site and called for a distinctive architectural approach. The panel supported the decision to deliver smaller flats on such a site as it is unsuitable for large families but considered the layout of the scheme as presented, compromised the quality of accommodation. The panel felt that a more distinctive architectural approach was needed to create a building with a stronger personality that could be a landmark at such a transition point into the city.

- 6.4. The QRP encouraged a stronger presence on the south-eastern corner; different designs for the northern and southern gables; a more distinctive approach to fenestration; and treatment that expresses the stairs as part of the main elevation if these were to be retained. The panel recommended removing the rear blue badge parking space to create a more generous amenity space, with the parking space relocated on-street. It was advised that as much greening as possible should be added on the street frontage. It was highlighted that careful thought is needed on how pollution is to be kept out of bedrooms facing busy traffic. A Passivhaus approach was encouraged to be pursued to protect residents from noise and pollution as well as to optimise energy performance.
- 6.5. Following the October QRP meeting the applicants are undertaking further design work to the scheme.
- 6.6. The submission of a full planning application is anticipated in early 2023.

7. MATERIAL PLANNING CONSIDERATIONS

- 7.1. Commentary on the development proposal in terms of material planning considerations are outlined below, including a brief commentary on specific planning policy relevant to this site.

Planning policy context

- 7.2. The London Plan 2021 policy on small sites (Policy H2) is relevant in considering the development of this site. This sets out a presumption in favour of small sites and seeks to promote infill development on vacant or underused sites within PTALs 3-6 and within 800m of a tube or rail station. A site allocation in connection with the site on the opposite side of Archway Road, is also an important consideration in shaping how this current site should be developed. This allocation understandably means that the immediate area is expected to change, meaning the nature, height and scale of development here may deviate from the existing pattern of development.
- 7.3. The site opposite is known as 460-470 Archway Road and has a site allocation under ref: SA38. This is currently used as a builders' and DIY merchant use and was designated by the Council for having the potential to comprise a significant parcel of land suitable for a major mixed-use development, including residential and employment use which could be much taller than the surrounding three storey buildings, with views however of Highgate Woods to be considered as part of any planning application.
- 7.4. The site is not specifically designated in the Highgate Neighbourhood Plan (HNP) (2017). However, the plan recognises the need for additional housing as set out in Policy SC1. This policy states the plan will help to facilitate delivery of a minimum of 300 net additional housing units in Highgate up to 2026. The policy sets out that

the ability of new development to deliver an appropriate mix of homes, that provide affordable housing and optimises the use of land and buildings on individual sites to create communities that are inclusive to everyone, and appropriately mixed in terms of demographics will be treated as benefits of significant weight.

- 7.5. Therefore, the principle of residential development on this site is strongly supported in policy. The proposal will result in a loss of an employment generating use which must be considered against planning policy and weighed against the benefits of the proposal.

Character and Appearance

- 7.6. Given the comments from the QRP the four-storey main building and the two two-storey houses can be considered to be of an appropriate scale and massing. Its height, materiality and fenestration, draw on the character and appearance of the conservation area. Façades of red brick reflect that character whilst contrasting precast concrete detailing provides additional depth to its form by balancing the expressed vertical brick piers. Contrasting glazed brick is introduced to the main entrances reinforcing the historical mansion block references and creating areas of interest at street level. The overall mass of the development is broken down by means of simple glazed frontages to the circulation cores which alleviate the solidness of the masonry bays. The southern gable end picks up on the unusual geometry of the site providing strength and interest and a landmark element at this prominent corner.
- 7.7. The proposal places the four-storey element of the scheme on Archway Road, and the lower, two-storey part, on Baker's Lane. This allows the development to step down as it extends into the conservation area and responds to the scale of the houses on North Hill. The proposed development, notably, creates a positive context for the potential redevelopment of the petrol station site, as suggested by the conservation area appraisal, and would improve this key entrance point to the Highgate Conservation Area.

7.8. Quality of accommodation

- 7.9. The buildings would be laid out to create a legible street pattern for pedestrian movements around the site and to maximise the quality of the residential accommodation. All units would meet the internal space requirements of the Nationally Described Space Standards. There would be a low number of units per residential core. All units would be dual aspect. The new homes have been designed to be spacious, light and flexible. Homes would be well-insulated.
- 7.10. The main building could be accessed from two entrances from Archway Road serving the two stair cores and lifts. There would be direct access from both cores

to shared amenity space to rear and direct access with private front doors to each of the ground floor homes.

- 7.11. The scheme is proposed as car free with the exception of a wheelchair blue badge space to be utilised by one of the ground floor M4(3) unit. Servicing and deliveries are proposed along the site's frontage with Archway Road. The service lay-by is intended to provide space for deliveries (restricted hours) and blue badge parking (24 hours tbc) as well as space for refuse vehicle stopping.
- 7.12. Secure refuse stores are proposed to each block with easy access to refuse vehicles for on-street collection along Archway Road.



Image 5: Access, servicing, cycles and refuse

Heritage and Streetscape Design and Character

- 7.13. The site is located at the northern edge of the Highgate Conservation Area (Sub-area 3), at the junction of Archway Road and Baker's Lane and make up the south-eastern portion of a large island block bounded by Archway Road, Baker's Lane and North Hill. The triangular block includes a truncated terrace of 7 two-storey 19th century houses on North Hill. Nearby Nos. 82-86 North Hill are grade II listed and Nos. 88-90 North Hill, on the corner of Baker's Avenue, along with Nos 76, 76A and 78 North Hill are locally listed.

- 7.14. In terms of streetscape, there are long terraced frontages forming strong street edges along the main road. There are a number of breaks in built form to north of Archway Road, with a number of sites likely to be redeveloped in the near future.
- 7.15. In terms of heights, the houses are predominantly 2-3 storeys, the traditional flat blocks with walkups typically 3-4 storeys and some contemporary flat blocks. are taller.
- 7.16. In terms of architecture, the area has very varied facade articulation. There is an expressed rhythm to the façades, with frontages broken down into smaller components to delineate individual properties, predominantly vertical window expression. Many properties have bay windows and projections and expressed base to many of the buildings, with changes to materials and in some cases massing at street level. The buildings have varied profiles against the skyline, including gable fronted façades, pitches and mansards.
- 7.17. The overriding impression in this part of the conservation area is that of a varied landscape of predominantly terraced buildings of differing heights. Also notable to the northern section of Archway Road are large gaps in built the form, which break up the continuity more evident to the southern parts of the road. While the architectural language is very varied, there are specific references that have informed the massing, appearance and materiality of the proposed buildings.



① Two tone brickwork and contrasting lintels



② Continuous terraced frontages with expressed ground floor



③ Red brick with contrasting stone/render detailing



④ Gables and projecting bays



⑤ Facade bay expression, mansard roof



⑥ Articulated roofline



Location map with key to photos

Image 6: General Character along Archway Road

7.18. The site itself, erected during the late-1980s holds no heritage significance. Currently in use as a car wash, in its unkept state it clearly detracts from the character and appearance of the conservation area.

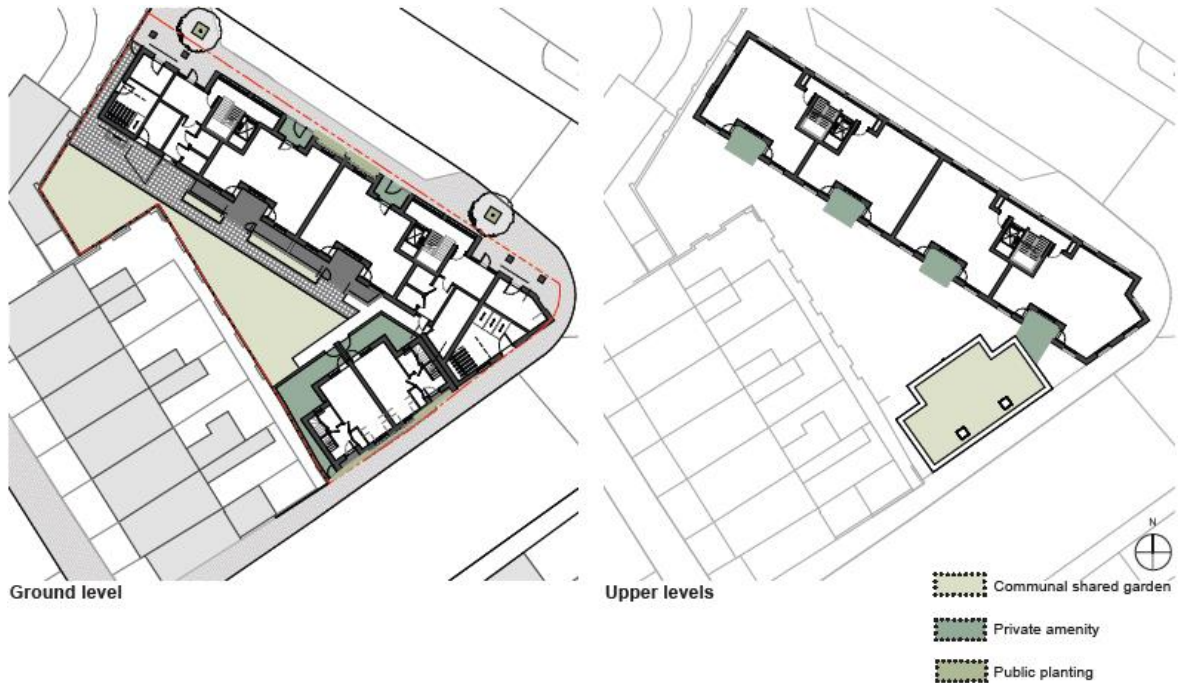
Affordable Housing and Housing Mix

7.19. All of the proposed residential units would be Council Affordable Rent homes. A total of 16 new Council homes would be provided within the application site area.

7.20. 13 homes would have two bedrooms, including two 2-bed 4-person houses, with only 1 home having three bedrooms.

Landscape and Amenity

- 7.21. There would be extensive planting to the shared rear garden. Biodiverse roofs would be installed on the buildings subject to compatibility with proposed PV roof arrays. Street edge planting would be utilised as a buffer from the adjacent road.
- 7.22. Boundary treatments with possible planting and railings are being considered along the street edge to provide buffer to ground floor flats. Ground floor flats would be served by private patio gardens at the rear of the block. The upper floor flats would have private balconies with screening as a means of providing useful amenity space while addressing proximities to neighbours. The communal rear garden amenity and play space provided would meet GLA requirements.
- 7.23. By using the GLA population yield generator, it has been calculated that the children's playspace requirement is 117sqm. This space will be provided in the form of incidental play equipment within the hard and soft landscaping to the rear garden.
- 7.24. Two existing alien trees are proposed to be removed to allow for the development of the site. The landscape strategy includes details for re-provision of more appropriate species of semi mature trees. Net gain in biodiversity would be required across the site. Full details would be required as part of the planning application.



Private patios opening to shared garden - ground level



Street edge landscaping and planters

Image 7: Proposed landscaping

Amenity of Nearby Residents

- 7.25. The protection of the amenity of nearby residents, namely the terraced houses along North Hill south-west of the site is an important consideration in the design and layout of such a development.
- 7.26. While the Council's Local Plan and the London Plan do not set out specific prescriptive separation distances, typically a minimum of 18m between habitable rooms should be provided to maintain acceptable levels of privacy and to avoid unreasonable overlooking. Where such a distance cannot be achieved it would need to be demonstrated that specific steps are taken to protect privacy and outlook.

- 7.27. The approach to developing the site places the smaller scale building (the two-storey houses along Baker's Lane) where the closest relationship with neighbours exists, while the taller main building would be located furthest away to minimise impact. The new buildings would sit north-east of the adjacent terrace of houses, which in part minimises impact on conditions of daylight and sunlight. Full daylight and sunlight analysis will however be required to be submitted with such an application and assessed accordingly.
- 7.28. The scheme has recently been amended to increase the separation distance between the four-story block and the backs of the two-storey houses fronting Baker's Lane. Further analysis and work is required in terms of balcony design and landscaping to show that the impact on the amenity of adjoining residents is being minimised.

Sustainability

- 7.29. In accordance with the London Plan Policy SI2 all major development should be 'zero carbon' by minimising operational emissions and energy demand in accordance with the Mayor of London's energy hierarchy.
- 7.30. Passive design measures have been incorporated; all homes are designed as dual or multiple aspect giving the opportunity for aspect and windows to habitable rooms opening away from the various environmental constraints along the busy road frontages. Super-insulated and airtight building envelope incorporating triple-glazed windows and Whole House Mechanical Ventilation/Heat Recovery system would be utilised. Other measures proposed are NO_x and PM filtration where applicable, passive shading, underfloor heating, biodiversity roofs, and low energy appliances and water conserving sanitaryware.
- 7.31. The development has been designed with consideration of the site environmental conditions, which on this site include significant noise and air quality considerations along the public frontages.

Transportation and Parking

- 7.32. Although the site has a moderate PTAL rating of 3, bus routes do run on Archway Road north of the site and the local bus network can also be accessed on North Hill a short walk to the south. The site is also within a 10-minute walk from the Highgate Underground Station.



Image 8: Transport Links

- 7.33. The proposal would be a car-free development with no car parking provided on-site. Only 1 blue-badge car parking space for the ground floor wheelchair-accessible units would be available along Archway Road.
- 7.34. Shared secure cycle store would be provided to each block with two tier cycle racks and provision for larger cycles/mobility scooters. The cycle stores would be with easy access to main road.
- 7.35. The Project Team have had discussions with TFL in relation to Wellington Gyratory, who indicate that there are no active considerations at present to make changes to the gyratory, with such changes also not within their budgets for the foreseeable future. The Project Team also outline that the housing scheme being designed here is to ensure that it would not prejudice a satisfactory outcome for any such improvements.
- 7.36. The site has pedestrian crossings less than 400m away and these are signalled and, apart from some minor repairs that are required, the public footpaths around

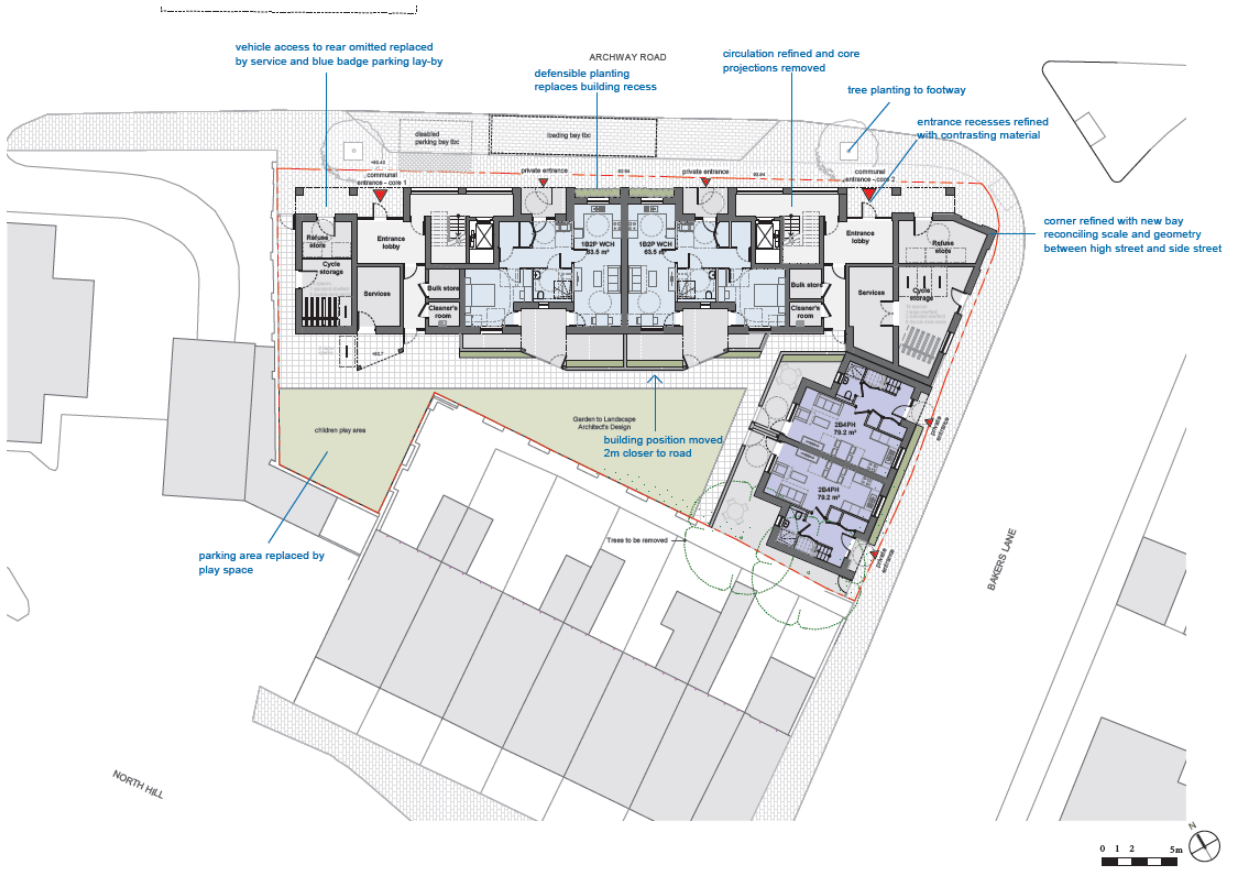
the site are safe and fully accessible for those with mobility impairments. An Accessibility Report, in addition to a Traffic and Parking Report, will be submitted as part of a planning application for the redevelopment of this site, providing more detailed technical data and information in respect of accessibility.

PLANS AND IMAGES

(1) Existing Site Plan and Buildings to be Removed from Site



(2) Proposed Development Layout Plan



(3) Street view 1 - looking south-east along Archway Road



(4) Street view 2 - looking north-west along Archway Road



(5) Street view 3 - looking along Bakers Lane



(6) View from rear garden



(7) South-east aerial view



(8) North-east aerial view



(9) North elevation



(10) East elevation – Baker's Lane



APPENDIX 1

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London Borough of Haringey Quality Review Panel

Report of Formal Review Meeting: 505-511 Archway Road

Wednesday 29 June 2022

Clockwise, Greenside House, 50 Station Road, London N22 8LE

Panel

Peter Studdert (chair)

Leo Hammond

Neil Matthew

Tim Pitman

Alan Shingler

Attendees

Mark Chan	London Borough of Haringey
Suzanne Kimman	London Borough of Haringey
John McRory	London Borough of Haringey
Elizabetta Tonazzi	London Borough of Haringey
Richard Truscott	London Borough of Haringey
Tom Bolton	Frame Projects
Joe Brennan	Frame Projects

Apologies / report copied to

Matthew Gunning	London Borough of Haringey
Aikaterini Koukouthaki	London Borough of Haringey
Rob Krzyszowski	London Borough of Haringey
Rob McNaugher	London Borough of Haringey
Kevin Tohill	London Borough of Haringey

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

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1. Project name and site address

505-511 Archway Road, London N6 4HX

2. Presenting team

Martin Cowie	London Borough of Haringey
Ziba Adrangi	Newground Architects
Tatiane Brittoo	Newground Architects
Jordan Perlman	Newground Architects
Anne Roache	KM Heritage
Chris Evans	Cream Engineering Services
Glenn Miles	Encon Associates

3. Planning authority briefing

The site, currently occupied by a car wash, is within the Highgate Conservation Area near its edge. The surrounding area contains mostly residential dwellings of two to three storeys in height. The site fronts onto the busy Archway Road (A1) and Bakers Lane, part of a busy red route gyratory system. The low-lying structures on the application site and the large petrol filling and service station site next door, as well as the wide traffic routes here, are viewed as detractors at the entrance of the conservation area.

The site forms part of the council's programme to develop vacant or underused land under its ownership across the borough. It is not specifically designated in the Highgate Neighbourhood Plan, but the plan recognises the need for additional housing as set out in Policy SC1. The applicant aims to provide high-quality new housing on the site, securing a good range of accommodation that contributes positively to its setting and environment through architecture and landscape. The proposals seek to replace the existing car wash and to deliver approximately sixteen new homes for council rent.

The proposed development would provide a mix of accommodation, predominantly two-bed, four person flats, with two one-bed, two-person wheelchair homes directly accessed at ground floor, and two standalone two bed four person houses along Baker's Lane. All the new homes would be for council rent and defined as affordable.

Officers asked for the panel's views, in particular, on how best to develop the site to mitigate the hostile environmental conditions; how the development should relate to views from the conservation area; whether the proposed four storey height is appropriate; whether the layout of flats protects residents from traffic noise and pollution; and on the architectural treatment and elevations.

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4. Quality Review Panel's views

Summary

The panel appreciates the work carried out to develop options for a very challenging site. It makes suggestions to help ensure the most appropriate accommodation for the setting, and for a more distinctive architectural approach. The panel supports the decision to deliver smaller flats on a site clearly unsuitable for large families but considers that the current layout compromises the quality of accommodation. In particular, it questions whether four storey flats are acceptable without a lift. It asks that other options that could support a lift are tested to determine whether they would work better. These could, for instance, include deck access flats or stacked maisonettes. The panel suggests that a taller building may be acceptable despite the conservation area setting, if it does not negatively impact neighbours. An extra storey could perhaps be added in areas furthest from houses to the rear, and on the corner of Archway Road and Bakers Lane. If the current configuration is pursued, then precedents are needed to show that a four-storey, walk-up building can be acceptable to residents. The panel feels that a more distinctive architectural approach is needed to create a building with a stronger personality that can be a landmark at a transition point in the city. It encourages a stronger presence on the south-eastern corner; different designs for northern and southern gables; a more distinctive approach to fenestration; and treatment that expresses the stairs as part of the main elevation if these are to be retained. The panel recommends removing the rear blue badge parking space to create a more generous amenity space, with the parking space relocated on-street. The panel suggests that this site is not an ideal location for wheelchair units and wonders whether these could in fact be re-allocated to a site in a more suitable and less hostile environment. As much greening as possible should be added on the street frontage. Careful thought is needed on how pollution can be kept out of bedrooms facing busy traffic. A Passivhaus approach should be pursued to protect residents from noise and pollution as well as optimising energy performance. These comments are expanded below.

Site layout

- The panel understands the difficulties posed by the site, which is surrounded by a particularly hostile, traffic-dominated environment. Achieving the optimum site plan is therefore particularly challenging. The design team has made some logical decisions, and the panel understands the decisions to deliver smaller flats as the site is potentially dangerous for children, and therefore poorly suited to family accommodation. However, the panel feels that the current layout creates compromises which limit the quality of flats.
- The panel questions whether it is appropriate to build a walk-up, four-storey residential building. Precedents are needed to show that this can be done successfully, and that residents are happy to live in accommodation of this height without lift access.
- The positioning of a stair core on the Archway Road elevation is unconventional, and although it shields the main habitable rooms from traffic

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noise and pollution is also reduces the potential for distant views of Highgate Woods to the north-east, while the need to screen balconies on the south-west elevation reduces views in this direction. Alternative layouts could improve the quality of accommodation.

- The panel suggests a range of alternative plans are tested. These could include the option of a four or five storey building combining duplex flats with deck access, and lateral flats accessed via a core at the south-eastern corner.
- One panel member suggested another option to build a three-storey terrace containing three or four-bed houses. However, this option is unlikely to prove appropriate as it implies the provision of large family units, for which the site is not suitable.
- The positioning of the block could also be reconsidered. If the block were moved further from neighbours to the rear and closer to Archway Road, the screens could potentially be removed from balconies to provide better aspect, without creating overlooking problems.

Height

- The panel suggest that the scheme would benefit from a more distinctive element at the prominent corner on Archway Road and Bakers Lane. This could possibly be five storeys, rather than the four storeys currently proposed.
- The panel understands the importance of a sympathetic relationship between the development and neighbouring houses to the rear on North Hill. However, it suggests the site plan could be adjusted to achieve this with a taller building, by increasing height on parts of the site furthest from neighbours.
- A five-storey building could be tested, with a single core, which would also be tall enough to automatically require the provision of lifts.
- As long as the building does not reduce daylight and sunlight for properties to the rear, the panel feels that additional height would be acceptable and could help to provide a stronger presence on a site that will be predominantly experienced by drivers, rather than pedestrians.

Architecture

- The panel feels that the current architectural options appear too bland. A more distinctive approach is needed for a prominent site, at a transition point between inner and outer London, to deliver an exciting building with a more substantial, landmark presence.
- The gables at either end of the building have the same design, but the panel suggests they would benefit from a more bespoke approach that reflects their settings. The northern gable is a party wall that abuts a petrol filling station which could be redeveloped in the future, while the southern gable is a

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prominent corner in the conservation area. The gables should address these approaches more directly, and in different ways.

- This could include angling the southern gable end to match the building line of the two houses on Bakers Lane, giving it greater prominence.
- The panel suggests that if a stair core forms part of the main elevation, it should be expressed rather than concealed. At the moment it is not apparent from the outside that this part of the elevation contains stairs. The panel suggests exploring mansion block precedents to consider how staircases can be revealed and lit in a way that appears domestic, rather than institutional.
- The panel also considers that a clearer design approach is needed to fenestration. It feels that the current designs neither reference styles in the conservation area nor create a contemporary approach reflecting environmental performance requirements. A decision should be made on which direction to take.
- The panel feels that red brick is preferable to buff brick as the principal material, as it is better suited to the context.
- While it understands the need to include photo-voltaic cells on the roof, from an architectural perspective the panel suggests that pitched roofs suit the conservation area context better than a flat roof.

Amenity space

- The panel recommends that the blue badge parking space at the rear of the property is removed. A significant proportion of the space to the rear of the development is needed to provide a single parking space. The challenging setting means the site will not be particularly suited to disabled residents. A second accessible unit could be provided on a more appropriate site in Haringey Council's portfolio, freeing up valuable space for amenity.
- If it is not possible to remove the requirement for an accessible parking space at the rear, the panel asks that the area is considered as a whole, and connected to the amenity space. The parking area should be softened, with planting on its boundaries and paving that links it to the rest of the space.
- The panel encourages the design team to include more seating in the shared amenity space, to help ensure it can be used by residents.

Landscaping

- The panel supports the planting strategy, which proposing planting that are appropriate for the location and will provide greater wildlife benefit than existing trees and planting.

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- However, it is important to ensure the landscape and planting can be maintained to a high standard. The panel asks that the planting strategy reflects the level of maintenance the client can provide. It would be better to specify a more modest scheme if required, to ensure landscaping does not fall into disrepair in future.
- The panel encourages the design team to include as much greenery and planting on the development's street frontage as possible, to help mitigate the hostile environment. This should include, if possible, a street tree on the corner of Archway Road and Bakers Lane.

Internal layout

- The panel considers that bedrooms facing directly onto Bakers Lane are likely to experience poor air quality. A strategy is needed to ensure traffic pollution can be managed.
- The panel suggests that the cycle store should be accessed from the entrance lobby to improve security, rather than via a street door. Alternatively, if the disabled parking space were to be removed, the cycle store could be accessed from the rear of the block.
- If the building has two cores, cycle storage would also be more accessible if split between into two, with a storage room at each.
- If walk-up flats are built, individual, lockable storage should be included on the ground floor for each flat, to store heavy items such as buggies.

Sustainability

- The panel suggests that the site is well-suited to a Passivhaus approach, as it is unlikely residents would want to open their windows. Passivhaus design could provide various benefits, including protecting residents from noise, as well as reducing energy consumption. The panel encourages the design team to pursue this option.
- A Passivhaus approach will require further thinking to ensure blocks have optimal orientation in relation to solar gain. Deck access could help, by providing extra shading for south-facing windows.

Next steps

The panel asks to review the scheme again, at a Chair's Review meeting, when the design team has had the opportunity to develop its designs further and respond to the panel's comments.

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Appendix: Haringey Development Management DPD

Policy DM1: Delivering high quality design

Haringey Development Charter

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
- a Relate positively to neighbouring structures, new or old, to create a harmonious whole;
 - b Make a positive contribution to a place, improving the character and quality of an area;
 - c Confidently address feedback from local consultation;
 - d Demonstrate how the quality of the development will be secured when it is built; and
 - e Are inclusive and incorporate sustainable design and construction principles.

Design Standards

Character of development:

- B Development proposals should relate positively to their locality, having regard to:
- a Building heights;
 - b Form, scale & massing prevailing around the site;
 - c Urban grain, and the framework of routes and spaces connecting locally and more widely;
 - d Maintaining a sense of enclosure and, where appropriate, following existing building lines;
 - e Rhythm of any neighbouring or local regular plot and building widths;
 - f Active, lively frontages to the public realm; and
 - g Distinctive local architectural styles, detailing and materials.

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Pre-application briefing to Committee

1. DETAILS OF THE DEVELOPMENT

Reference No: PPA/2022/0012

Ward: Tottenham Hale

Address: 'Berol Quarter' Berol Yard, Ashley Road, Tottenham Hale N17 9LJ

Proposal:

Berol House

Refurbishment of Berol House (c. 3,300sqm) for a mix of flexible commercial & retail floorspace with 3-storey extension (c. 2,200sqm) at roof level.

2 Berol Yard

2 Berol Yard would comprise a part 6, part, part 18, part 25, part 29, part 30 storey building with lift overrun core incorporating c. 210 Build to Rent (BTR) homes with a mix of flexible retail & commercial floorspace at ground floor level with community floorspace and enabling works for a bridge connection over Watermead Way & the railway line to the east.

The BTR accommodation will include 35% affordable housing by habitable room including homes let at London Living Rent (LLR) and Discount Market Rent (DMR).

The proposal would include associated public realm works and landscaping within the quarter which would include a public square.

Applicant: Berol Quarter Limited (Berkeley Square Developments or BSD)

Agent: Lichfields

Ownership: Private

Case Officer Contact: Philip Elliott

2. BACKGROUND

- 2.1 The application site falls within site allocation TH6 – Ashley Road South Employment Area (as noted in the Tottenham Area Action Plan 2017 (TAAP)). The site is allocated for an employment-led mixed-use quarter north of the new Tottenham Hale District Centre, creation of a new east-west route linking Down Lane Park and Hale Village, and enhanced Ashley Road public realm. The allocation states that residential use will be permitted to cross subsidise improvements to employment stock.

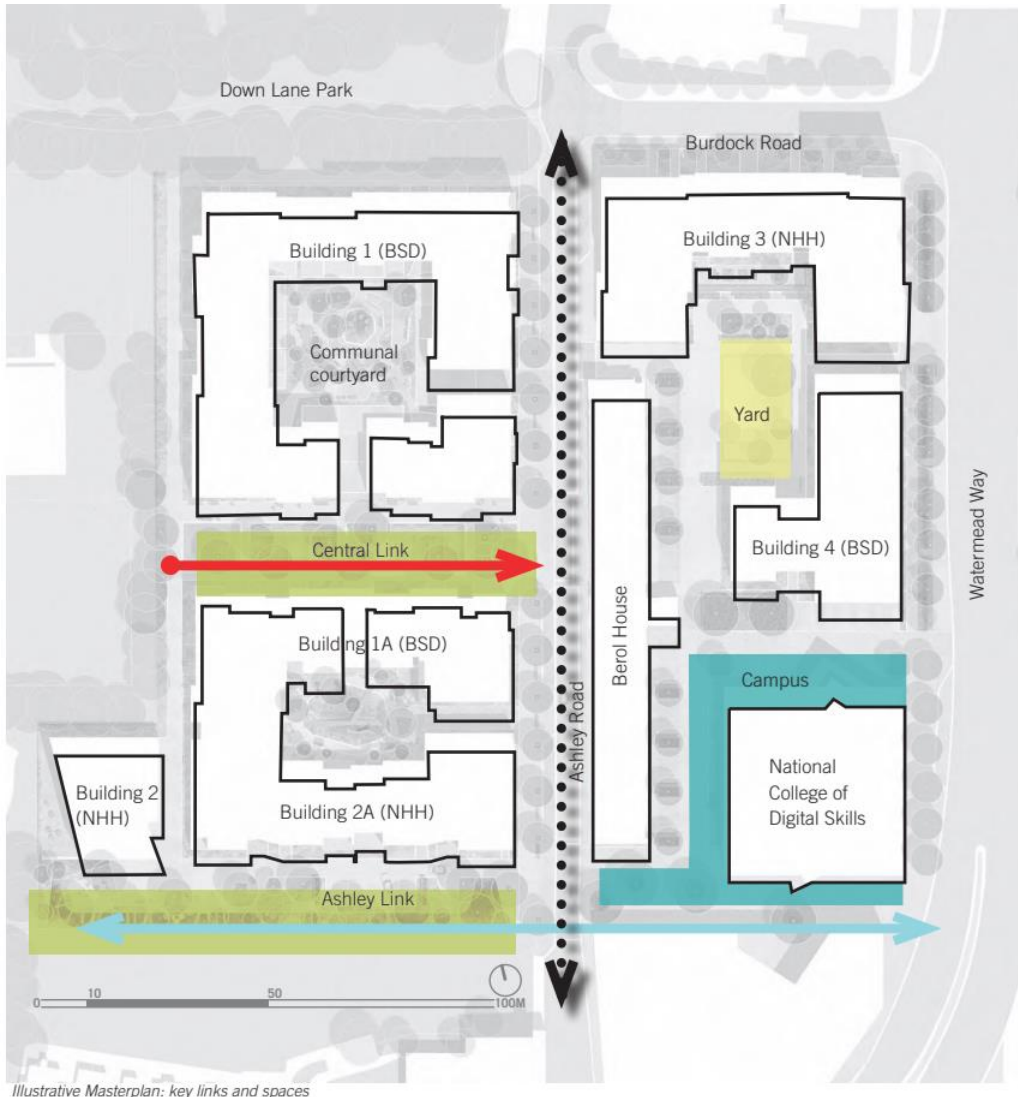
Ashley Road South Masterplan

2.2 The Ashley Road South Masterplan (ARSM) was developed jointly by BSD (the applicant) and Notting Hill Genesis (NHG) on 2.67ha of land north of Tottenham Hale Station within TH6. The area was previously occupied by a number of one and two storey industrial warehouses with their associated yards.

2.3 The development of the ARSM area has been brought forward through three discrete planning applications. Two have already been delivered in part by BSD (Building 4 or 'The Gessner', Building 1A 'Rosa Luxemburg', & Building 1 'The Sessile') alongside adjacent permissions for the NHG sites immediately to the south of Ashley Gardens (Buildings 2 & 2A) and to the north of Berol Yard (Building 3) which have not yet been implemented. The images below identify these sites within the masterplan as approved and as proposed. The ARSM comprises the following development parcels:

- Berol Yard (including Berol House) (BSD) – 158 units, 891sqm commercial space and an education facility approved in June 2018.
- Ashley Gardens (BSD) – 417 units and 1,200sqm commercial space approved in June 2018 (amended April 2020)
- Cannon Factory/Ashley House (NHG) – 256 units and 3,600sqm commercial space approved in May 2018
- Ashley Park (NHG) – 97 units and 170sqm commercial space approved in April 2020 (Ashley Park is located to the south of the Ashley Link)

Plan 1- Masterplan as approved



Plan 2- Masterplan as proposed



2.4 Planning permission reference HGY/2017/2044 covered this site with a hybrid permission being granted that included the following:

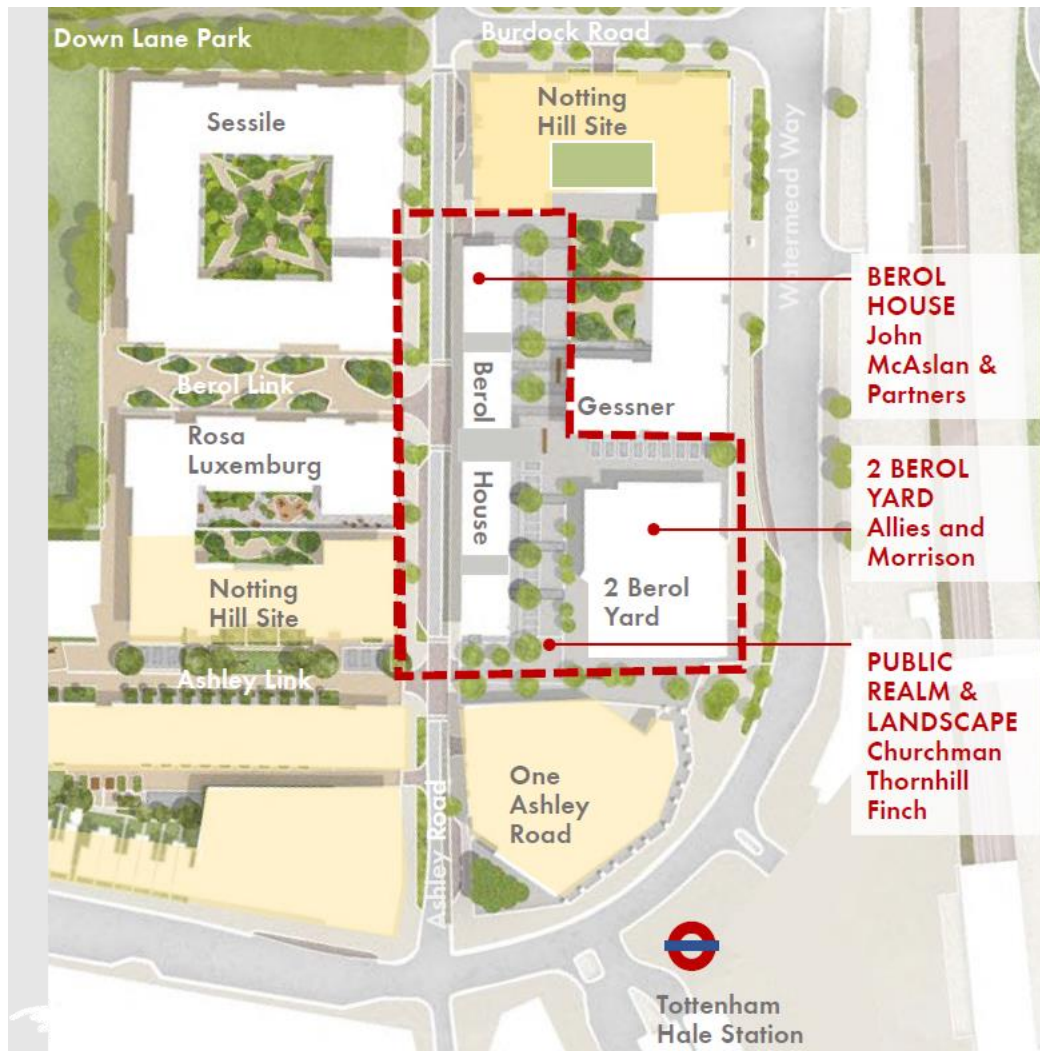
- Retention of Berol House;
- Erection of two buildings between 8 and 14 storeys providing 166 build to rent (BTR) residential units, 891 sqm (GEA) of commercial floorspace (Class A1/A3/B1/D1), 7,275 sqm (GEA) of education floorspace (Class D1); and
- Outline proposals (all matters reserved) for the alteration/conversion of ground, first and second floors of Berol House with up to 3,685 sqm (GEA) of commercial floorspace (A1/A3/B1/D1) and the introduction of a two storey roof level extension introducing up to 18 residential units.

- 2.5 The works to Berol House and the new building hosting the educational floorspace (meant for Ada, the National College of Digital Skills (NCDS)) have not come forward whilst the BTR residential building known as “The Gessner” (formerly Building 4) and associated landscaping has been constructed and has been occupied since 2021.
- 2.6 A separate reserved matters application for the detailed design of Berol House was approved under HGY/2020/0080 on the 31 March 2020. However, Berol House has not been progressed and the site of the NCDS remains undeveloped. The proposed operator of the college, Ada, was unable to finance and deliver the college and pulled out of the contract to provide the facility.
- 2.7 The applicant subsequently marketed the site for 16 months in an attempt to secure an alternative academic or life science occupant/operator but was unable to secure an alternative educational use.
- 2.8 A new full planning application at the ‘Berol Quarter’ site is now proposed comprising comprehensive refurbishment and extension of Berol House to provide high quality workspace and retail accommodation, alongside a new mixed use building accommodating Build to Rent (BTR) homes with commercial/retail space at ground floor.

3. SITE AND SURROUNDS

- 3.1 The application site is made up of Berol House (3-5 storeys and locally listed) - currently occupied by office uses with affordable rents (c. 3,300 sqm), associated car parking areas, and a cleared site - most recently used as a construction site for neighbouring development. The image below shows the site location.

Plan 3 site location within the ARSM



- 3.2 It is bounded by Ashley Road to the west, the applicant's recently constructed BTR development (The Gessner, up to 14 storeys) and the Cannon Factory (a Notting Hill residential development site of up to 16 storeys) lie to the north. Further to the west is Down Lane Park.
- 3.3 Watermead Way lies to the east, with railway lines and Hale Village (up to 10 storeys plus a 34 storey tower) beyond; a recent Argent Related residential development of up to 19 storeys lies to the immediate south, beyond which are Tottenham Hale Station and bus station. Further Argent Related sites around the Station are under development, including tall buildings of up to 38 storeys.
- 3.4 Most of the site has a Public Transport Accessibility Level (PTAL) of 6a, with the northern part of the site having a PTAL of 5.
- 3.5 The surrounding area of Tottenham Hale (TH) has been experiencing transformative regeneration over the past few years and will continue to do so into the near future. Whilst the NHG sites have not come forward, 'The Gessner'

on Berol Yard and the Ashley Gardens buildings have been occupied (Rosa Luxemburg Apartments) or are nearing completion (Building 1 / The Sessile).

- 3.6 Alongside the ARSM developments, Argent Related (5 sites, multiple buildings in TH centre), Anthology (Hale Village), Newlon (Millstream Tower/One Station Square with BSD) and Muse developments (Hale Wharf) have progressed planning applications for developments close to the site, many of which have been constructed or are under construction.
- 3.7 Tottenham is identified as one of the GLA's Housing Zones, earmarked to deliver 1,965 homes, and Tottenham Hale also falls within the GLA's Upper Lea Valley Opportunity Area, which has scope to provide a minimum of 15,000 jobs and 20,100 new homes. Within the Upper Lea Valley, Tottenham Hale is considered a growth point, suitable for higher density development.
- 3.8 At a local level, the area (Tottenham Hale) has also been identified as a new District Centre through the District Centre Framework (DCF, 2015), promoting a mix of town centre and residential uses in the immediate area. The DCF sets a clear ambition for housing and employment-led regeneration around Ashley Road. The southern end of the site falls within the District Centre.
- 3.9 The TAAP and DCF provide useful context in terms of the vision for Tottenham Hale and how they allow the recent permissions and patterns of delivery to be considered against the development capacities identified.

4. PROPOSED DEVELOPMENT

- 4.1 The Berol Quarter site forms the remaining parts of Berol Yard that have not been redeveloped – i.e. not including The Gessner building. The proposals include the following development:

Berol House

- 4.2 Refurbishment of Berol House (c. 3,300sqm) for a mix of flexible commercial & retail floorspace with 3-storey extension (c. 2,200sqm) at roof level.

2 Berol Yard

- 4.3 2 Berol Yard would comprise
 - a part 6, part 18, part 25, part 29, part 30 storey building with lift overrun core
 - 210 Build to Rent (BTR) homes
 - a mix of flexible retail & commercial floorspace at ground floor level
 - community floorspace and enabling works for a bridge connection (over Watermead Way & the railway line to the east).

The BTR accommodation will include 35% affordable housing by habitable room including homes let at London Living Rent (LLR) and Discount Market Rent (DMR).

- 4.4 The proposal would include associated public realm works and landscaping within the quarter which would include a public square.

5. PLANNING HISTORY

- 5.1 As set out above the most relevant planning permission reference HGY/2017/2044 which realised part of the site allocation with a hybrid permission being granted included the following:
- Retention of Berol House;
 - Erection of two buildings between 8 and 14 storeys providing 166 build to rent (BTR) residential units, 891 sqm (GEA) of commercial floorspace (Class A1/A3/B1/D1), 7,275 sqm (GEA) of education floorspace (Class D1); and
 - Outline proposals (all matters reserved) for the alteration/conversion of ground, first and second floors of Berol House with up to 3,685 sqm (GEA) of commercial floorspace (A1/A3/B1/D1) and the introduction of a two storey roof level extension introducing up to 18 residential units.
- 5.2 The scheme has been part implemented with the BTR building 'The Gessner' having been constructed and occupied.

6. CONSULTATION

6.1 Public Consultation

Development Management Forum (DMF)

- 6.2 A DMF for Berol Quarter was held on the evening of the 6th of October 2022. The summarised minutes of this meeting can be found at Appendix 1. In summary there was:

Support

- for the Berol House element of the proposals

Concern

- for the height, scale and massing of 2 Berol Yard and the impact of the design on the area
- over the capacity for the area to host more homes and whether there are too many studios and smaller homes
- about the affordability of the homes
- about pollution

Questions and comments were also made about accessibility, the deliverability of the bridge, sale of the units to overseas buyers, cycle accessibility and provision, and construction logistics.

6.3 Quality Review Panel

6.4 A very early iteration of the scheme was presented to the panel in July. The full advice report can be found at Appendix 2. The panel's comments for that meeting are summarised as follows:

- Warmly supportive of the proposals for Berol House, subject to continued development of the details of the design
- They felt the design for thermal performance and environmental sustainability should underpin the design of the new elements, and the refurbishment and repurposing of the existing elements
- The panel were unable to support the proposals for 2 Berol Yard and felt that a building of that scale and mass would not be appropriate for the Berol Quarter
- They were concerned about the impact on privacy and outlook of nearby flats in The Gessner, microclimatic impacts at ground level, as well as the environmental and thermal performance of the building
- They wanted to see the creation of a distinctive and high-quality place, with a comfortable pedestrian environment
- They also wanted to see the east-west green link within the site reinforced and facilitated with a pedestrian footbridge across Watermead Way and the railway being contributed to financially.

6.5 The applicant team subsequently developed the design of the proposals and presented their revised scheme to the panel on the 19th of October 2022. At the time of drafting this report the full written comments have not been received and will be reported by way of an addendum to this report.

7. MATERIAL PLANNING CONSIDERATIONS

7.1 The Planning team's initial views on the development proposals are outlined below.

Principle of development

7.2 The principle of the development is supported given the location of the site and its allocation within local and London plans for regeneration and commercial & housing growth.

7.3 Haringey's Local Plan Strategic Policies and the TAAP promote new homes and business floorspace in the Tottenham Hale Growth Area. London Plan policies E1 and E2 support new office provision and mixed-use development, with the

focus on identified geographic areas and town centres. London Plan policies SD6, SD7, SD8 and SD9 support mixed use development in town centres.

- 7.4 The London Plan identifies the District Centre as a Future Potential Network 'District' classification with high commercial and residential growth potential. The proposals would include c.6,000 sqm of non-residential floorspace, including an uplift of c.1,600 sqm in Berol House compared to the extant permission. Ground level non-residential uses would provide welcome activation to the public realm.
- 7.5 The increase in non-residential uses in Berol House and across the site is positive but would be less than that originally envisioned in the Site Allocation and previous permissions. The applicant will be required to submit detailed marketing information regarding the previously proposed academic / education / life science uses and show they have maximised employment and community uses on the site to meet planning policy and site allocation requirements.
- 7.6 The proposed development would contribute to the site allocation aim for a mixed-use quarter given that the works to Berol House would support a range of business uses and create new commercial floorspace. The proposal would activate the surrounding public realm and would include good quality buildings with the retention and adaption of Berol House for flexible employment use.
- 7.7 London Plan policy H1, Strategic policy SP2, and Policy AAP3 of the TAAP all encourage the delivery of additional new homes. The site comprises a significant development opportunity within Haringey. The proposed residential use of 2 Berol Yard is supported given that it would deliver high density mixed use development on an under-utilised brownfield site partly within a district centre and growth area with very good public transport connections.
- 7.8 Build to Rent (BTR) housing is supported in the London Plan by policy H11. To qualify as a Build to Rent scheme the policy identifies 10 criteria that all BTR schemes must meet. These include:
- The homes must be held under a covenant for at least 15 years (apart from affordable units, which must be secured in perpetuity);
 - A clawback mechanism must be put in place to ensure that there is no financial incentive to break the covenant;
 - The units must be self-contained and let separately;
 - There must be unified ownership and management of the private and affordable elements of the scheme;
 - Longer tenancies (three years or more) must be available to all tenants with break clauses for tenants;

- Rent and service charge certainty for the tenancy period on a basis made clear before the tenancy agreement is signed including any annual increases, which should be formula-linked;
- On-site management;
- Providers must have a complaints procedure in place and be a member of a recognised ombudsman scheme; and
- Providers must not charge up-front fees of any kind to tenants or prospective tenants outside of deposits and rent-in-advance.

7.9 The full policy is set out in Appendix 3. The applicant has confirmed that the scheme would meet the 10 criteria and conditions and obligations could be used to ensure ongoing compliance. BTR accommodation makes up approximately 8% of tenures across new and emerging developments in Tottenham Hale so there is not an oversupply of this type of accommodation.

Housing mix

7.10 The Council will not support proposals which result in an overconcentration of 1 or 2 bed units unless they are part of larger developments. The TAAP states that the proximity of the Harris Academy to the north and Down Lane Park to the north and west make the area particularly suitable for larger units along those edges.

7.11 2 Berol Yard would partly reside in the District Centre and would not be located along the edges of the masterplan area closest to the school and park. The location of the building makes it suitable for smaller unit sizes. The site is less suitable for family housing which the TAAP focuses to the edges of the masterplan to the north and other sites nearby such as Ashley Road Depot.

7.12 Approximately 68 of the 210 homes would be studios or 1-beds. With 114 being 2-beds and 28 being 3-beds. The need to achieve inclusive and mixed sustainable communities is acknowledged but given the site circumstances and a requirement to optimise the site, the proposed unit sizes and mix are considered to be acceptable at this stage by Officers when seen in the wider context, albeit the applicant will be challenged to deliver a higher number of larger units .

Affordable Housing

7.13 London Plan Policy H11 states that where a BTR development meets the 10 criteria, the affordable housing offer can be solely Discounted Market Rent (DMR) at a genuinely affordable rent, preferably London Living Rent (LLR) level.

7.14 The requirement under policy H11 to have unified ownership and management of the private and affordable elements of the scheme mean that BTR accommodation cannot accommodate housing provided by a housing

association or the local authority. The policy requires genuinely affordable intermediate rents.

- 7.15 To follow the fast track viability route set out in the London Plan, BTR schemes must deliver at least 35% affordable housing by habitable room, and the Mayor expects at least 30% of DMR homes to be provided at an equivalent rent to London Living Rent, with the remaining 70% at a range of genuinely affordable rents.
- 7.16 The applicant is proposing to follow the fast track route and meet these requirements. Discussions around the level of discount on the market rate are ongoing but it is likely that the larger 2 and 3-bed units would be DMR with the rent levels set at approximately 70 to 80% of market value. Officers will seek to ensure that the DMR homes meet the Mayor's definition of genuinely affordable.

Design and appearance

- 7.17 The site is partly within a District Centre; in an area with recently completed high density development including tall buildings; and has excellent public transport connectivity, which supports higher density development on the site. The quantum of development proposed indicates a high density scheme including a tall building, which will therefore require a greater level of design scrutiny.
- 7.18 The site falls within a tall building growth area and the proposed height of 2 Berol Yard requires compliance with London Plan policy D9 (Tall buildings). Policy D9 sets out requirements for assessing tall buildings (Part C) including addressing visual impacts at different distances; aiding legibility and wayfinding; having exemplary architecture and materials; avoiding harm to heritage assets; not causing adverse glare; and minimising light pollution.
- 7.19 Functional impacts should consider internal and external design; servicing; entrance capacity; area and transport capacity; maximise benefits to the area; and not interfere with communications. Environmental impacts should consider wind, daylight, sunlight, and temperature; air movement (dispersal of pollutants); and noise creation. Cumulative impacts should also be considered.
- 7.20 Officers and the QRP have been convinced by the work the applicant has formulated to show that there is a compelling argument for another tall building to mark not only the station but also the green link. Verified views, CGIs and VU.CITY have been used to show how the building would largely be seen in the context of other tall buildings and would not have an adverse visual impact in short, mid, and long range views.
- 7.21 There are a number of Conservation Areas and listed buildings in the wider area. Although these designated heritage assets are generally greater than 400 metres

from the site with limited visual connection. The impact on heritage assets is still under review but it is expected that any impacts are unlikely to be adverse to an extent that would not be outweighed by the public benefits of the scheme.

- 7.22 Officers and QRP have been encouraged by the design approach which incorporates a number of blocks in a variety of bricks around a central core that vary the heights, better reflect neighbouring development, and break up the visual impact of the building. The information so far indicates that the building could constitute exemplary architecture, although the comments of some of the panel are noted that more could be done to improve the design.
- 7.23 The QRP has highlighted that aspects of the functional design such as the residential entrance to 2 Berol Yard could be improved but the early indications are that environmental impacts would be minimised and/or kept to acceptable levels. The detailed information on wind and daylight & sunlight still needs to be reviewed in full so that Officers can be completely convinced of its impact.
- 7.24 The proposed tall building is oriented to address the east west link to the south, which the masterplan envisages as a key connection across Watermead Way and the railway to Hale Village to the east. The proposed streets and frontages to the tall building are well activated with blank frontages to servicing and external parking bays minimised. Officers will continue to seek as much activation/informal surveillance as possible.
- 7.25 The footprint of the tall building steps in at its south-west corner, providing a public open space (Berol Square) connecting to the green link to the south and 'Berol Walk' to the north, between the proposed tall building and the refurbished/extended Berol House.
- 7.26 Officers are supportive of the sensitive design approach for Berol House and the QRP support for this part of the scheme is noted. Discussions are ongoing with Conservation Officers to ensure the locally listed building and its setting and context is enhanced as much as possible whilst delivering on the aims of the site allocation for permeability and attractive flexible commercial spaces.

Public benefits / Community contributions

- 7.27 The scheme would deliver the enabling works for a bridge over Watermead Way and potentially the railway in the future to connect the proposal into Hale Village and the Lea Valley beyond. The works would secure the bridgehead and support for a future bridge as well as a lift/stair/elevator and a platform. Above/alongside the enabling area would be a community space (approx. 160sqm).
- 7.28 The QRP has commented on the enabling works being positive but there still needing to be a strong justification for the scheme by making a further

contribution to, or delivering, the section of the bridge over Watermead Way. This would add further weight to the justification for the height acting as a marker for the Green Link. Officers are in discussions with the applicant about the potential for a contribution/delivery, but it is acknowledged that this would be subject to viability.

Residential quality and impact on residential amenity

- 7.29 Policy D6 states that single aspect units should normally be avoided and should only be provided where it is considered a more appropriate design solution than a dual aspect dwelling and where it can be demonstrated that adequate passive ventilation, daylight and privacy can be achieved, avoiding overheating. Approx. 67% of the homes would be dual aspect with the remaining 33% being single aspect.
- 7.30 North facing is usually defined as an orientation less than 45 degrees either side of due north. The northeast facing single aspect flats do not fall within this criteria so cannot be considered to be north facing single aspect. These flats also have enhanced aspect from the inset balconies which provide another view (albeit limited) and opening to living spaces.
- 7.31 Separation distances between habitable rooms would be approx. 12 metres at the closest point adjacent to the Gessner building. The north facing openings are secondary windows to living spaces, and in the northeast facing block the closest windows are angled away and the distances increase as the elevation runs towards the southeast. Impacts on overlooking and privacy to The Gessner will need to be fully evidenced and justified, noting the urban context.
- 7.32 The applicants will be required to demonstrate that the relationship between the lower levels of the residential building (2 Berol Yard) and Berol House is acceptable as well as the impact on the proposed units and recently constructed homes to the south in the Argent Masterplan.
- 7.33 Internal daylight to the proposed building has not been fully assessed but the early signs are that the majority of the building would be able to receive good daylight and sunlight and would meet the requirements of the latest BRE guidance.
- 7.34 As the design develops, Officers will seek to ensure that the applicants maximise the quality of the lower level homes, which are likely to have lesser quality outlook, daylight and sunlight. The proposed communal terraces at high level are supported as they provide additional residential amenity and quality.
- 7.35 Acoustic mitigation measures for the residential units facing Watermead Way and the railway will likely be required, and can be provided at application stage,

along with confirmation of accessibility to the communal terraces for all residents.

Inclusive access

- 7.36 The applicants will be required to show in any future application where the wheelchair accessible homes would be located and how many there would be. It is expected these would be distributed across tenure types and sizes to give people with disabilities and older people a wide variety of choice. M4(2) and M4(3) requirements could also be secured by condition as part of any permission.

Fire safety

- 7.37 The application would be subject to fire safety 'Gateway 1' consultation with the Health & Safety Executive and would need to be accompanied by detailed fire engineering analysis / fire statement to ensure all the appropriate measures are in place. Two stairways, two fire evacuation lifts, and two fire-fighting lifts are proposed, which, subject to the detailed analysis, suggests the building is likely to meet the requirements.

Energy & sustainability

- 7.38 The taller elements of the building have been designed to minimise heat gain. The proposed approach to minimising potential overheating, in terms of window design and shading, as well as photovoltaic provision on some of the roof spaces are strongly supported. The full details of this will need to be supplied and reviewed by the Council's Carbon Management team but the emerging signs are that the proposals would be able to meet policy requirements.

Impact on transport, parking and highway safety

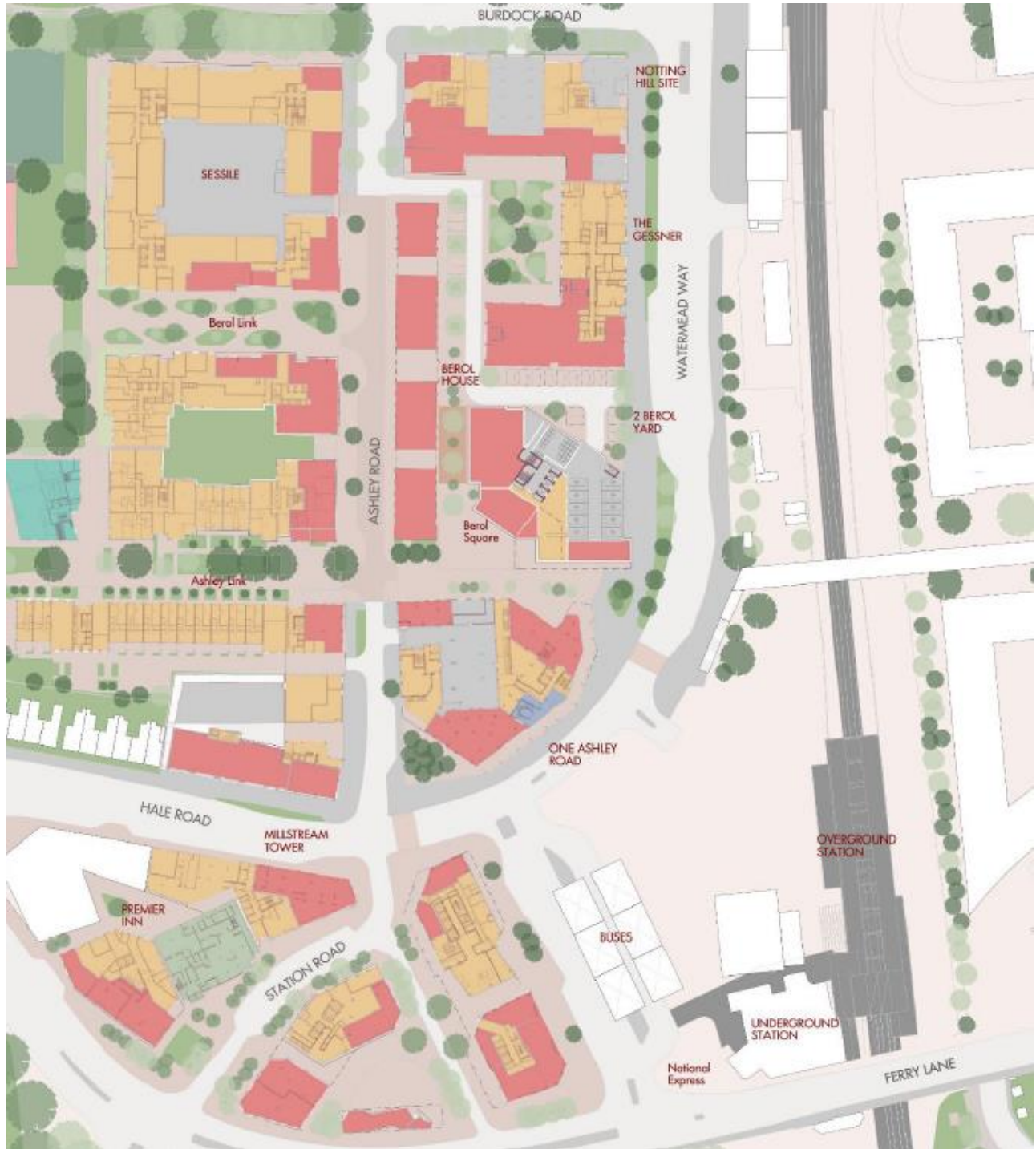
- 7.39 The proposal would be car capped – i.e. it would be car free albeit for blue badge provision and the temporary provision of 10 spaces for use by existing tenants of Berol House to satisfy existing lease obligations. The applicant has proposed to submit a phasing plan to deal with the transition of these spaces to more town centre uses as the leases expire.

Other matters

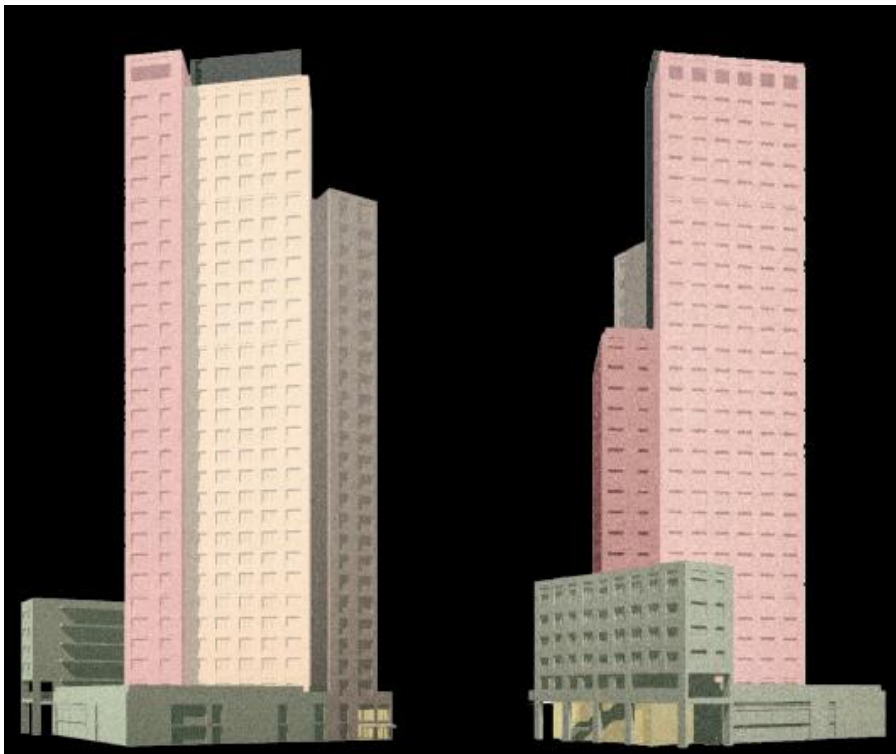
- 7.40 Matters such as playspace, landscaping, greening & public realm, flood risk & drainage, air quality, cycle parking & other transport matters, and energy and sustainability have not been assessed in detail at this stage, but the early signs are that the proposals would meet or exceed the associated London Plan policies. Officers will seek further information in these areas to ensure policy compliance as the scheme progresses.

PLANS AND IMAGES

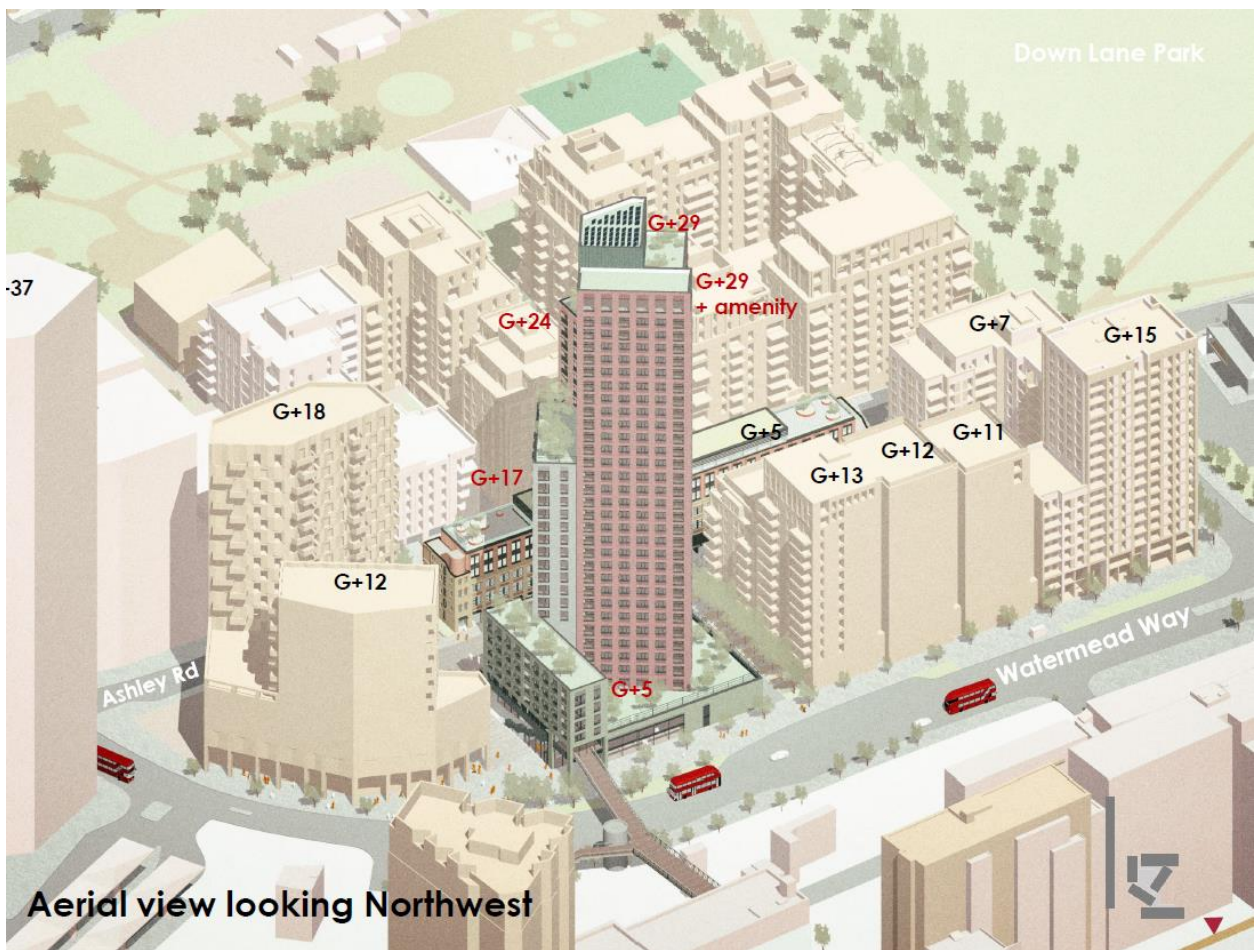
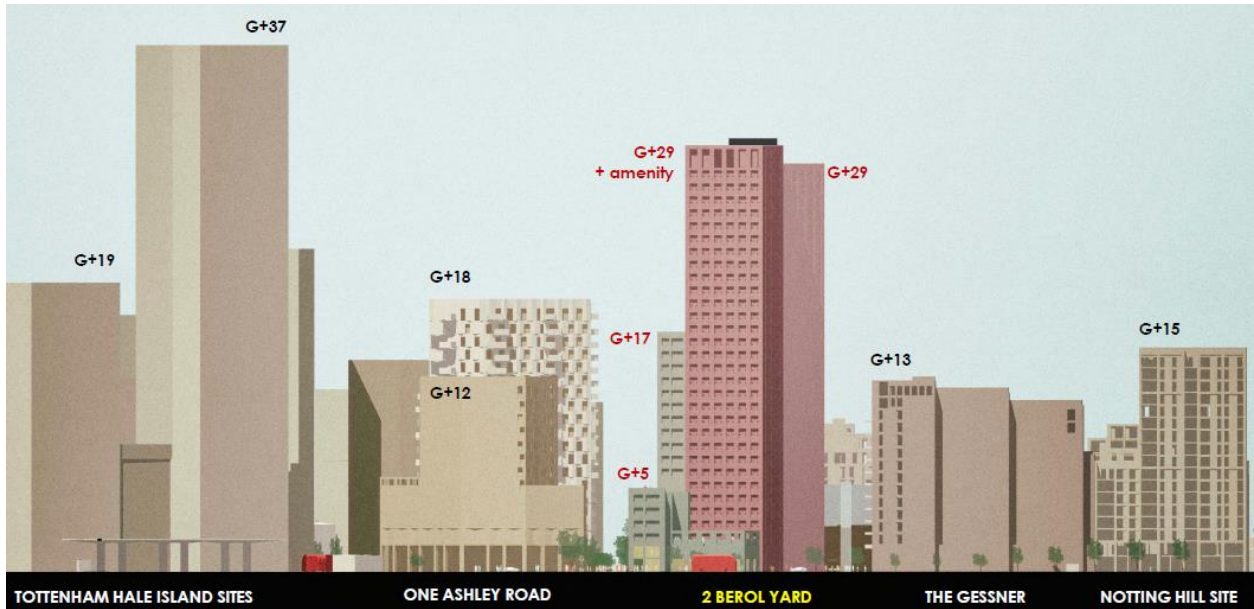
Image showing proposed ground floor uses in the area. Red = commercial & Orange = residential



Images showing the stepped and varied form of proposed 2 Berol Yard



Images showing the 2 Berol Yard and the development in context



Images showing justification for height of 2 Berol Yard

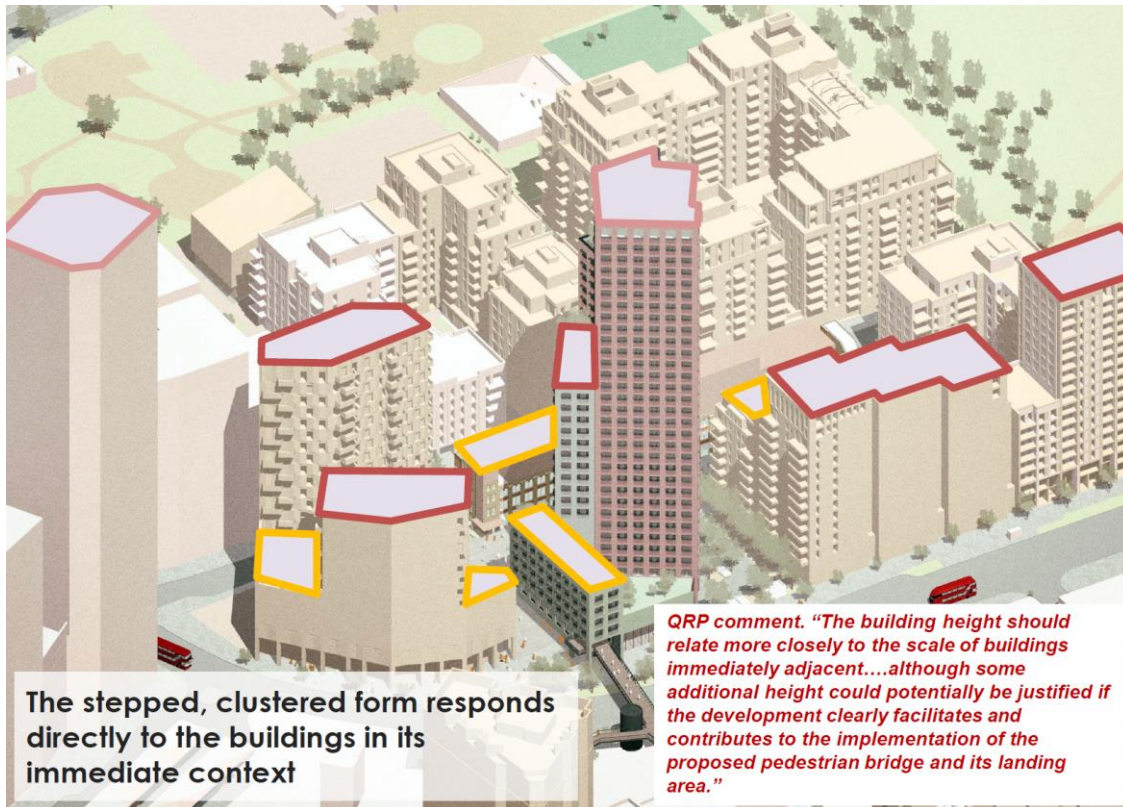
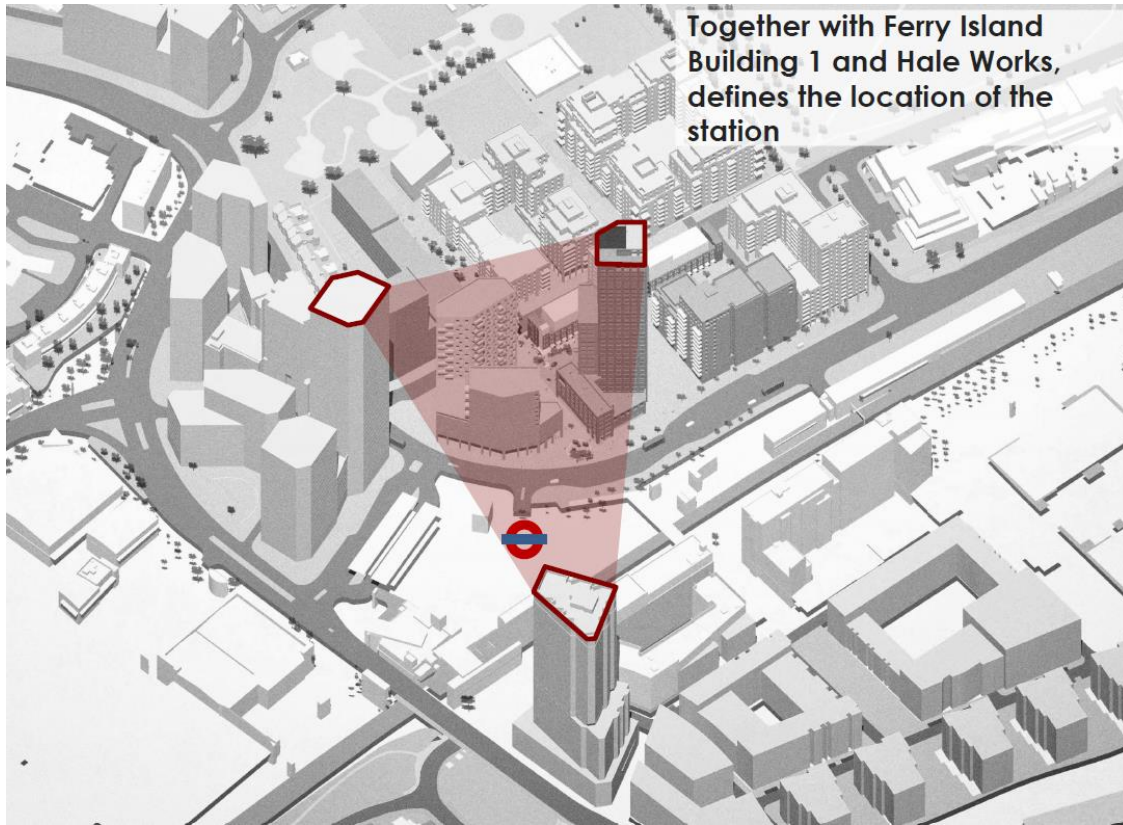
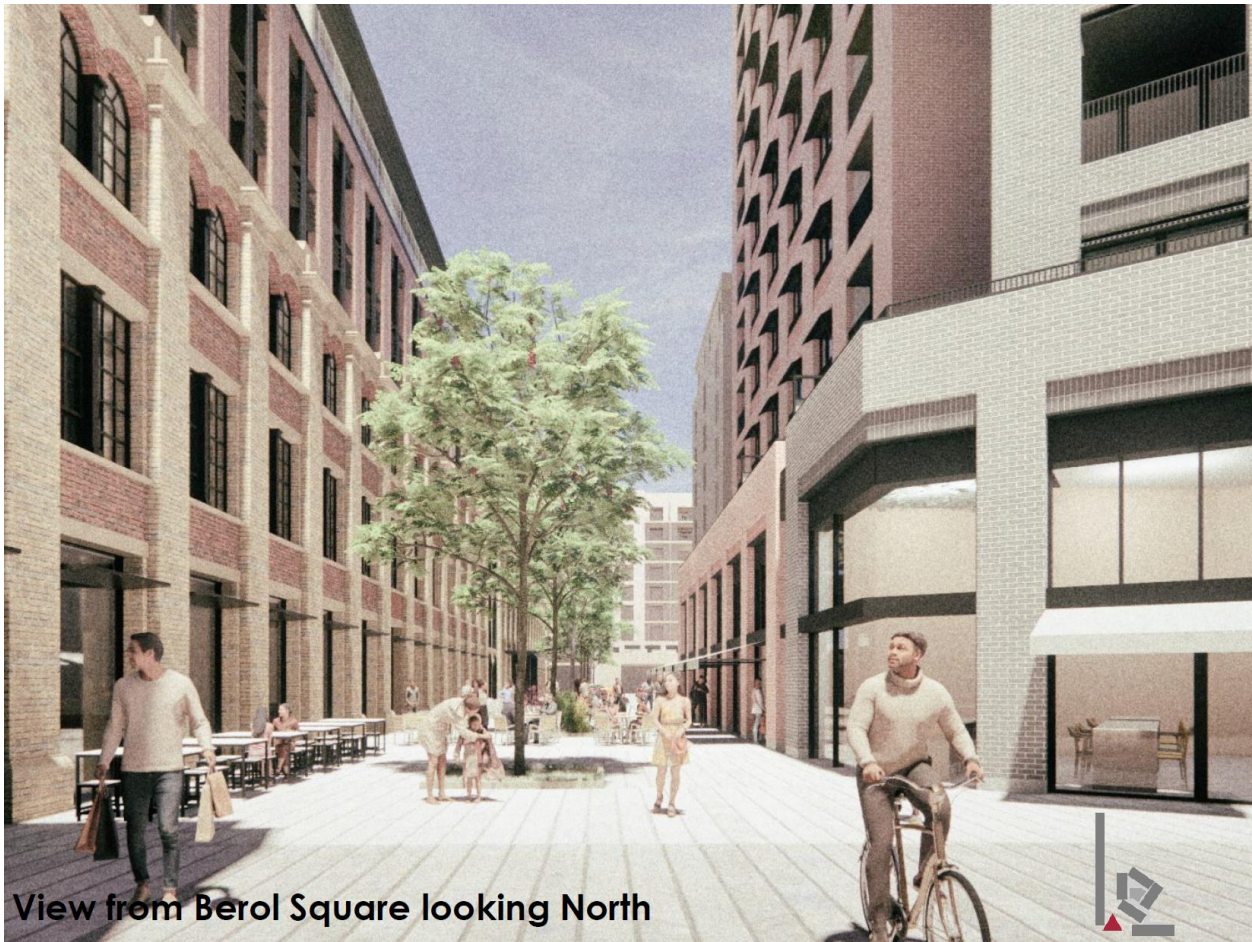


Image showing views of the proposal



Axonometric view towards Berol Square



View from Berol Square looking North





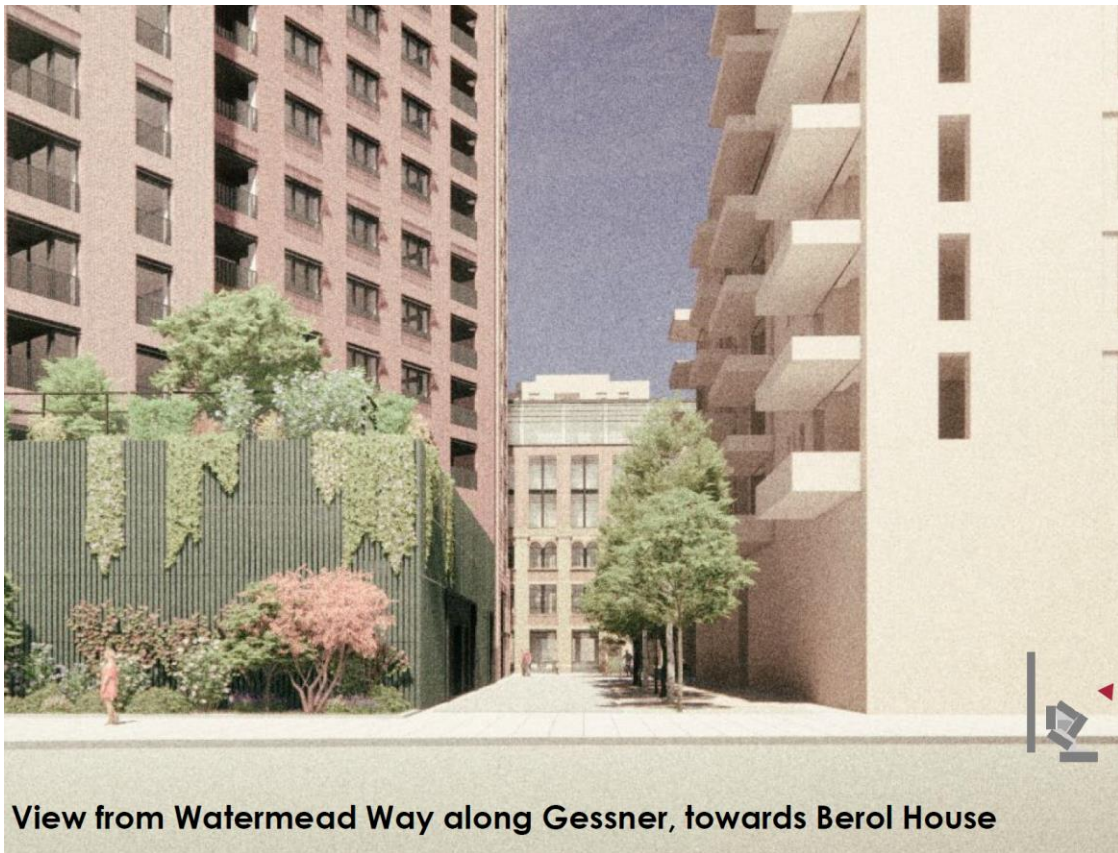
View from Ashley Road



View from Berol Square

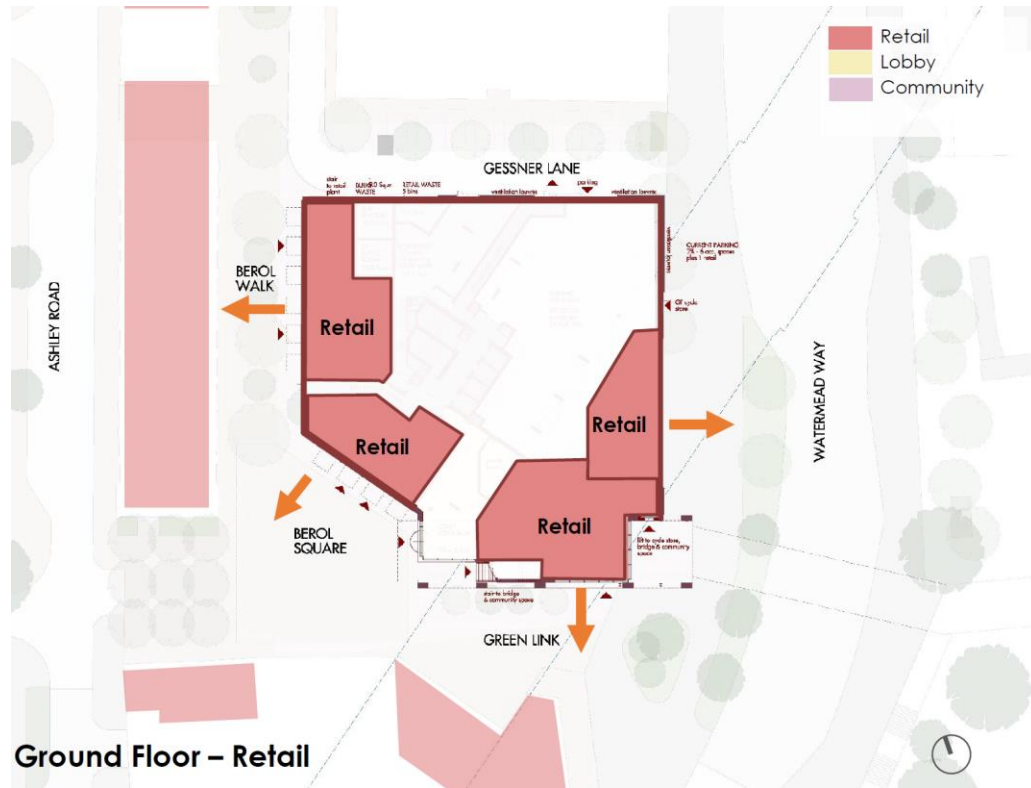


View from Berol Square looking East

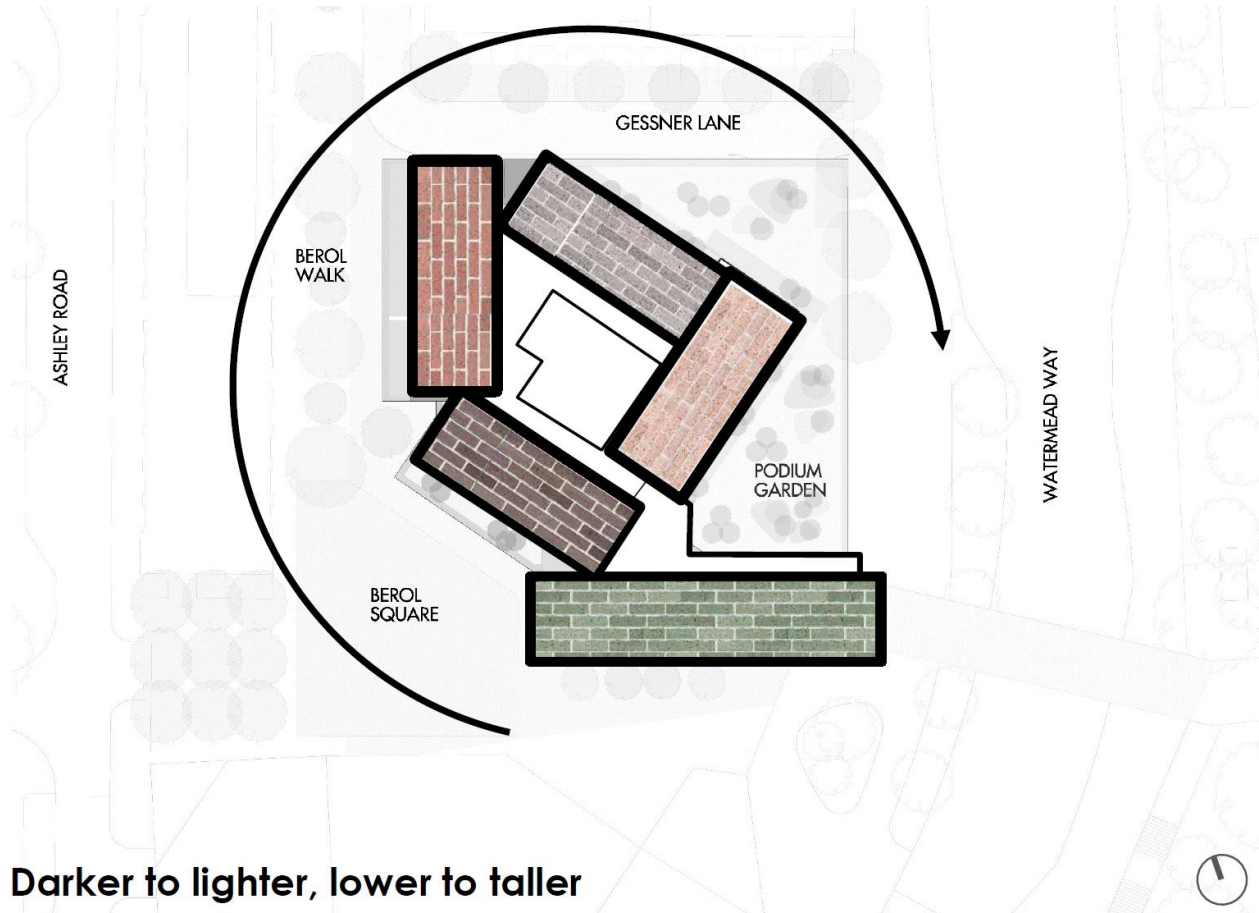


View from Watermead Way along Gessner, towards Berol House

Image showing the proposed commercial spaces at GF in 2 Berol Yard & typical resi plan



Materiality of 2 Berol Yard



Darker to lighter, lower to taller

Berol House images





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DM Forum for Berol Quarter 6th October 2022 at half 7 PM

Council Officers:

- Robbie McNaugher - Head of Development Management and Enforcement Planning (RMc)

Applicant team:

- Aidan Potter - John McAslan + Partners (AP)
- Paul Eaton - Allies and Morrison (PE)
- Ben Kelway – Lichfields (BK)
- Jonathan Hoban – Lichfields (JH)
- Malcolm Lea – Berkeley Square Developments (ML)

RMc – Introduced the meeting

- Introduced the purpose of the meeting and the speakers.

ML – Introduced the proposals

- Introduced the scheme and showed the site context and images of the existing permission and the proposed site.
- Noted that BSD have built 20% of homes in TH.
- Explained that BSD want Berol to be a new heart for TH.
- Looking to create new connections and permeability to promote pedestrian flow and activity.
- Looking to create a new square.
- Noted the amount of commercial uses at ground floor in the vicinity.

AP – Talked about Berol House

- 90% of building to be retained albeit with new entrances and openings introduced.
- 2 storey addition
- With 5th floor that is set back
- 5th elevation – the roof
- Much more activity at ground floor
- Replacement of windows but sympathetically
- 2 storey extension in terracotta cladding with glazed recessed addition above.
- Inherently flexible floorplate
- Opportunities for natural ventilation

PE – Talked about 2 Berol Yard

- Residential and tall building proposed

- The design seeks to relate to the immediate and distant context through form and materials
- Stepped form with 5 blocks around a central core
- Blocks of 5 storeys, 18 storeys, 25, and 30.
- The site/building seeks to mark the green link from the high road to the river lea and vice-versa.
- Would enable a bridge over Watermead Way and the railway to the east – by securing a raised access within the 5 storey building that lines the green link/Ashley link
- The building steps out to attempt to provide strong active retail frontages.
- The enabling works run alongside a community space.
- Inset balconies
- Solar roof as well as green roofs (biodiverse), some with amenity
- 2 fire stairs and 2 sets of separate firefighting access lifts
- Retail animating the west, south and part of the east elevations
- Shaded windows to deal with overheating
- Lowered forms on south/west elevations to minimise heat gain
- Functional hard landscapes that are also loaded with greenery – designed by Churchman Thornhill Finch

ML – summed up the numbers

- Proposed number of homes:

Tenure	Studio	1 Bed	2 Bed	3 Bed	
Private	20	48	76	6	150
DMR			26	16	42
LLR			12	6	18
Totals			114	28	
Total affordable					60
O/a total homes					210

- Proposed number of affordable homes by habitable room:

Tenure	Hab rooms	% overall	% affordable housing
DMR	142	25%	70%
LLR	60	11%	30%
Totals	202	35%	

- BSD retain retail and commercial space in order to curate it. The residential elements are sold on to specialist operators
- They are seeking to create a place that does not currently exist in Tottenham Hale
- Scheme benefits:



Scheme Benefits

- **New active commercial quarter and centre for Tottenham Hale**
- **New public realm**
- **New high-quality iconic architecture**
- **New connections**
- **Highly sustainable development**
- **Sensitive renovation of Berol House**
- **c. 3,300sqm refurbished commercial space at Berol House**
- **c. 2,200sqm additional commercial floorspace at Berol House**
- **210 BtR Homes**
- **202 affordable habitable rooms (35%)**
- **c.£3.9 million in CIL**
- **Over £1 million towards community improvements in S106 costs**
- **Contribution towards public art**

RMc – Highlighted a question from Cllr Peacock in the chat

- AP sought to explain that the pediment will stay on both elevations provided the one to the rear remains – and could be reinstated.

Question from Jack

- Accessibility of the access to the bridge for wheelchair users and cyclists.
- PE explained that a ramp with an acceptable gradient would be too long and would not be practical given the height they need to clear on the road.

Question from Martin

- Likelihood of bridge being built.
- ML explained that the land for the bridge is outside of their site and control – but the bridge would be enabled alongside a community asset.
- The bridgehead in Hale Village is there but it remains a question mark given the need to include network rail and the cost implications.

Question from Cllr Gordon

- Supports proposals for Berol House but concerned about the height of the tower proposed for 2 Berol Yard.
 - Local residents will feel hemmed in – So would like to see floors taken off.
 - Dormitory town and overcrowding – number of studios is high.
 - Affordability – the amount of affordable.
 - Mitigation of pollution – liveable wall or green features that help with this.
 - Commitments on rent levels? – would there be affordable workspace?
-
- PE explained the site is in a tall building growth area and in a pocket of high density next to a major transport node.
 - They have been careful to step the building so that it does not take away light and sky in the same way as a larger block.
 - They will look into greening that will remove particulate matter as well as green walls but will make sure this lasts and can be maintained.
 - ML explained that retail and commercial is needed to attract people (critical mass) so it will be aimed at creative trades and businesses.
 - BK explained 35% meets LP21 targets – with 70% DMR and 30% LLR.
 - 20 studios are acceptable given the district centre location.

Question from Cllr Peacock

- Concerned about Tottenham people being priced out.
- ML explained the Gessner is fully let and there is a waiting list.
- BK – no detail at this stage on income caps and rent levels, will look to follow the LP21 and Mayor's housing strategy.

Question about foreign sales

- The block would not be sold – it would be protected as rented accommodation for the long term in link with LP21 policy on BTR.

Question about cycling

- PE/AP - Will meet cycle standards and will improve connectivity when the bridge is delivered.
- PE explained flats would have space for mobility vehicles in accessible accommodation.
- ML noted that Ashley Road will eventually become one-way (with contraflow cycle route and raised tables for crossing).
- PE noted they would support cycling access improvements around the site where this would be reasonable
- PE noted that parking and charging space is required under the standards for mobility vehicles and will be incorporated into the scheme.

Question about construction logistics

- ML explained that there is a loading bay on Watermead Way which would be used for just in time deliveries as Ashley Road is restricted.
- At least a couple of years away in starting construction.

Question about the Berol House proposals

- ML explained that Berol House has permission for relatively large maisonette units. The change to commercial brings flexibility in terms of potentially bringing in a HQ for a local business.
- AP explained how the proposal would be sensitive given the radical changes in the area. The proposals develop the extant permission and re-present and reposition what is an important historic building.

RMc brought the meeting to a close. Explaining that a statutory consultation will take place if a formal application is submitted and notes of the meeting will be appended to any Officer report.

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CONFIDENTIAL

FRAME PROJECTS

Haringey Quality Review Panel**Report of Formal Review Meeting: Berol Quarter Phase 2**

Wednesday 13 July 2022

Berol House, 25 Ashley Road, London, N17 9LJ

Panel

Peter Studdert (chair)

Esther Everett

Louise Goodison

Andy Puncher

Craig Robertson

Attendees

Philip Elliot London Borough of Haringey

Suzanne Kimman London Borough of Haringey

John McRory London Borough of Haringey

Richard Truscott London Borough of Haringey

Joe Brennan Frame Projects

Sarah Carmona Frame Projects

Apologies / report copied to

Aikaterini Koukouthaki London Borough of Haringey

Rob Krzyszowski London Borough of Haringey

Robbie McNaugher London Borough of Haringey

Elizabetta Tonazzi London Borough of Haringey

Deborah Denner Frame Projects

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

1. Project name and site address

Berol Quarter, Ashley Road, London, N17 9LJ (within the Ashley Road South Masterplan)

2. Presenting team

Jonathan Carkeet	Berkeley Square Developments
Malcolm Lea	Berkeley Square Developments
Paul Eaton	Allies and Morrison
Helena Gomes	Allies and Morrison
Angie Jim Osman	Allies and Morrison
Jasmin Lewin	John McAslan + Partners
Aidan Potter	John McAslan + Partners
David Finch	Churchman Thornhill Finch
Jonathan Hoban	Lichfields
Ben Kelway	Lichfields
Joshil Hirani	WSP
Silke Mason	WSP

3. Aims of the Quality Review Panel meeting

The Quality Review Panel provides impartial and objective advice from a diverse range of experienced practitioners. This report draws together the panel's advice and is not intended to be a minute of the proceedings. It is intended that the panel's advice may assist the development management team in negotiating design improvements where appropriate and in addition may support decision-making by the Planning Committee, in order to secure the highest possible quality of development.

4. Planning authority briefing

The application site falls within site allocation TH6 – Ashley Road South (as noted in the Tottenham Area Action Plan 2017). The site is allocated for the creation of an employment-led mixed-use quarter north of the new District Centre, as well as for facilitating a key part of the strategic east-west green route linking Tottenham High Road with the Lea Valley Regional Park. Development should also provide an enhanced public realm for Ashley Road. The allocation states that residential use will be permitted to cross subsidise improvements to employment stock. The Berol Quarter site sits within the central and southern eastern sections of the Ashley Road South Masterplan (ARSM) and covers an area of 1.02 hectares. The site forms part of the wider Berol Yard site.

Planning permission realised the site allocation with a hybrid application being granted that included the retention of Berol House, with outline proposals (all matters reserved) for the alteration/conversion of ground, first and second floors of Berol House with up to 3,685sqm of commercial floorspace and the introduction of a two-storey roof level extension introducing up to 18 residential units. In addition, the planning permission also included the erection of two buildings between 8 and 14



storeys providing 166 build to rent (BTR) residential units, 891 sqm of commercial floorspace and 7,275sqm of education floorspace.

The works to Berol House and the new building hosting the educational floorspace (meant for ADA as a National College of Digital Skills (NCDS)) has not come forward; however, the BTR residential building known as The Gessner and associated landscaping has been constructed and delivered. The panel has reviewed the proposals (and those for adjacent sites and the overall masterplan) a number of times since 2017.

In the context of the transformative regeneration experienced to date within the area – alongside the failure to secure another educational institution for the site – the current proposals for the Berol Quarter development comprise a mixed-use commercial and residential scheme covering 2 Berol Yard and Berol House. It is intended to complement emerging neighbouring developments in Tottenham Hale and to complete the Ashley Road South masterplan. The scheme would deliver around 200 homes, in the form of build to rent accommodation, and 500sqm of employment-generating floorspace at 2 Berol Yard, up to approximately 34 storeys. This development is alongside the refurbishment of around 3,800sqm of existing commercial floorspace and the addition of circa 2,000sqm of new additional accommodation at Berol House for employment space, as well as associated public realm and landscaping within the quarter.

Officers seek the panel's view on the design quality, scale and massing of the proposals, including the associated public realm and landscape, and all interfaces between public and private realms.

5. Quality Review Panel's views

Summary

The Quality Review Panel welcomes the opportunity to review the proposals for the Berol Quarter at an early stage, and thanks the project team for the informative presentation. It is warmly supportive of the proposals for Berol House, subject to continued development of the details of the design. This should include work to clarify routes and openings, permeability, and ground floor uses. Further consideration should also be given to the expression, materiality and form of the proposed additional floors at roof level. This should be tested and illustrated within key views. Design for thermal performance and environmental sustainability should underpin the design of the new elements, and the refurbishment and repurposing of the existing elements: the panel would like to see Berol House become an exemplar for environmentally sustainable design and refurbishment.

The panel is unable to support the proposals for 2 Berol Yard and feels that a building of this scale and mass is not appropriate for the Berol Quarter. A more appropriate development should be explored that more closely references the 12-14 storey scale of the neighbouring buildings, as well as being more sensitive to the privacy and outlook of nearby flats in The Gessner. Microclimatic impacts at ground level, as well



as the environmental and thermal performance of the building should be carefully assessed. A key objective should be the creation of a distinctive and high-quality place, with a comfortable pedestrian environment, while ensuring that the development does not have a negative impact on the local neighbourhood. Reinforcing and facilitating the east-west green link within the site will be important, as will integrating the proposed pedestrian footbridge across Watermead Way and the railway. The panel would expect the development to facilitate the pedestrian bridge with a financial contribution.

Scope of the review

- Due to time constraints, the scope of the review was primarily at a strategic level. It is anticipated that the panel will consider the evolving proposals at a greater level of detail in future reviews.

Overall vision for Berol Quarter

- The panel notes that there is a tension between the strategic and local visions for the site. The current proposals for 2 Berol Yard seem to have been developed from the perspective of an arbitrary long distance view, rather than an understanding of how the development will be experienced at a local level: how the buildings shape the experience of the place. The panel feels that this local experience should inform and drive the early, strategic decisions about the massing and three-dimensional form of the new building.
- The panel would like to know more about the detailed vision for Berol Quarter, and what will make it a distinctive place. It highlights that a large part of the public experience is influenced by the design and quality of the public realm, and it notes the challenge of mitigating the hostile environment of the major roads adjacent to the site.

Berol House

- The panel welcomes the approach taken to repurposing the Berol House building; it is socially important, linking the existing and new communities, and could become an exemplar. It is an extraordinary building and presents a great opportunity to provide a focus for the masterplan.
- The reworked scheme is generally well-considered; the panel supports the move to make the ground floor more permeable and thinks that some further exploration of how this might be achieved would be beneficial. Options to consider include the creation of a central 'arcade', increased permeability through the ground floor uses with entrances on both facades, and a clear hierarchy of the routes through the building.
- Including some community uses at ground floor level could also help to integrate the different local communities within the new development; retail provision may not be particularly accessible for a wide demographic.



- Provision for flexibility in the size of units will also be important, so that Berol House can adapt to a wide range of occupants.
- The panel would encourage the project team to tease out and reinforce the 'delight' in the architectural expression of the heritage building. The original form was that of a central building with clear bookends, so visually reinforcing these and reflecting details like the false tromp l'oeil doorway into the stairwell at roof level would be welcomed. The Colourworks building in Ashwin Street, Dalston is a good example of a successfully repurposed industrial heritage building.
- The panel is not yet convinced by the architectural expression of the proposed additional storeys at roof level. A lighter and more delicate approach may be more appropriate; the current images render the uppermost storeys visually heavy. While the addition of two new storeys on the roof works well, the third, set-back level needs a lighter touch, including a more defined setback on its eastern face to avoid a sheer three storey roof addition facing Berol Yard.
- Designing for thermal performance and sustainability should underpin the approach to the form and expression of the new-build upper floors. Factors for consideration include solar gain, daylight and sunlight, embodied carbon and the LETI standards.
- The panel notes that the wall-to-ceiling glazing, and generally the quantum of glazing, would be detrimental in terms of thermal performance and solar gain / overheating. A holistic evaluation of the impact of the cladding material would also be welcomed.
- The panel would encourage the project team to explore innovative forms of construction on the upper floors, and to take environmentally sustainable design as a starting point, both in the new-build roof additions, and with the refurbishment and retrofitting of the existing building.

2 Berol Yard

- High quality placemaking should be the key driver for the Berol Quarter development and careful consideration should be given to what characteristics will make it a distinctive and liveable place.
- The panel thinks that the proposed height and mass of the building, in terms of the impact upon the public realm and adjacent buildings, is unsuitable in this location, which has been identified as the 'final piece of the jigsaw' of the Ashley Road South Masterplan.
- Further consideration of the massing and height is therefore needed, to increase and improve the amount of open space on the site, while framing the



space and the spaces to which it links. In addition, extensive wind modelling will be required.

- The building height should relate more closely to the scale of buildings immediately adjacent, at 12-14 storeys, although some additional height could potentially be justified if the development clearly facilitates and contributes to the implementation of the proposed pedestrian bridge and its landing area. However, the design and integration of the landing area will be critically important in this regard.
- It will be important to define a clear brief for how the building should work, in terms of orientation, daylight, sunlight, wind modelling and microclimate, which can drive the iterative design process.
- Constraints within and around the site are also important and should also underpin the developing design. The 12m gap to The Gessner building to the north is very problematic, resulting in north-facing single aspect units with reduced daylight, as well as obstructing the outlook and amenities of the south-facing balconies on The Gessner. A different response to these constraints could result in a narrower, more compact building, without single aspect units.
- The panel notes that the Victoria line tunnel also presents constraints for construction above it. It wonders whether adoption of a diagonal in the building line at the northern façade could open up the 12m gap, improve access to daylight for the accommodation, and improve neighbourliness.
- The panel would encourage the project team to consider future adaptability of the proposed building; it notes that 'build to rent' may become less appropriate in 20 years' time.
- The panel also expresses some concerns about the proposal to locate parking at the 'back of house', adjacent to Watermead Way.

Place-making, public realm and landscape design

- The overarching vision of a green link (from the High Road to the Tottenham Marshes and Lee Valley Regional Park) is a very important strategic initiative for the local area. The panel would like to see how this can be further reinforced and enhanced, giving character and distinctiveness to the development. For example, greater provision of soft landscape could be made within the site and key elements of the link could be integrated within the proposals, including the potential pedestrian bridge over Watermead Way and the railway. The panel would expect to see this type of greening strategy illustrated within the CGI views of the scheme.



- The current proposals for 2 Berol Yard are not at a human-scale at ground level, and the panel would like to see refinement to the design of the lower part of the building and the public realm to humanise the scheme and to provide protection from the challenging microclimate, and major road adjacent.
- The panel would like to know more about both the strategic and detailed approaches to landscape within the Berol Quarter, especially in terms of how these spaces might be used by children, and how the different spaces will be used by different age groups.
- The panel would expect the development to make a financial contribution to facilitate the connections that form part of the green link, in particular the proposed footbridge.
- The cafes on the waterfront at Hale Wharf, the Tottenham Marshes and Lee Valley Regional Park are important destinations, both for the development itself and for the wider community. The panel notes that there are still uncertainties about the detailed design of the footbridge because of Crossrail 2; however, it feels that the scheme needs to show how this link will be made.

Environmentally sustainable design

- The panel would like to consider the approach to environmentally sustainable design for the proposals in greater detail at a future review.
- While the inclusion of a wall to capture energy within the development is supported, the panel would encourage the project team to adopt ambitious targets for the environmental performance of the buildings, for example the LETI targets.
- The panel questions whether an approach to urban greening has been considered within the site.
- Attention will need to be paid to the mitigation of the noise created by the very busy road immediately adjacent.

Next steps

- The panel would like to see the proposals again, at a greater level of detail. It will be important to allow enough time to consider each part of Berol Quarter individually, and from different perspectives, including sustainable design, so separate review slots on the same day for Berol House and 2 Berol Yard may be appropriate. It will also be important to have sustainable design panel expertise in each of the reviews, so formal review slots for both buildings may be appropriate.



Appendix: Haringey Development Management DPD**Policy DM1: Delivering high quality design****Haringey Development Charter**

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
- a Relate positively to neighbouring structures, new or old, to create a harmonious whole;
 - b Make a positive contribution to a place, improving the character and quality of an area;
 - c Confidently address feedback from local consultation;
 - d Demonstrate how the quality of the development will be secured when it is built; and
 - e Are inclusive and incorporate sustainable design and construction principles.

Design Standards

Character of development

- B Development proposals should relate positively to their locality, having regard to:
- a Building heights;
 - b Form, scale & massing prevailing around the site;
 - c Urban grain, and the framework of routes and spaces connecting locally and more widely;
 - d Maintaining a sense of enclosure and, where appropriate, following existing building lines;
 - e Rhythm of any neighbouring or local regular plot and building widths;
 - f Active, lively frontages to the public realm; and
 - g Distinctive local architectural styles, detailing and materials.



Policy H11 Build to Rent

- A Where a development meets the criteria set out in Part B, the affordable housing offer can be solely Discounted Market Rent (DMR) at a genuinely affordable rent, preferably London Living Rent level. DMR homes must be secured in perpetuity.
- B To qualify as a Build to Rent scheme the following criteria must be met:
- 1) the development, or block or phase within the development, has at least 50 units⁶⁶
 - 2) the homes are held as Build to Rent under a covenant for at least 15 years⁶⁷
 - 3) a clawback mechanism is in place that ensures there is no financial incentive to break the covenant
 - 4) all the units are self-contained and let separately
 - 5) there is unified ownership and unified management of the private and Discount Market Rent elements of the scheme
 - 6) longer tenancies (three years or more) are available to all tenants. These should have break clauses for renters, which allow the tenant to end the tenancy with a month's notice any time after the first six months
 - 7) the scheme offers rent and service charge certainty for the period of the tenancy, the basis of which should be made clear to the tenant before a tenancy agreement is signed, including any annual increases which should always be formula-linked
 - 8) there is on-site management. This does not necessarily mean full-time dedicated on-site staff, but that all schemes need to have systems for prompt resolution of issues and some daily on-site presence
 - 9) providers have a complaints procedure in place and are a member of a recognised ombudsman scheme

⁶⁶ Boroughs may set their own thresholds to reflect local housing market circumstances and affordable housing need. However, it is important that where a lower threshold is set, Build to Rent schemes must still operate according to the stipulations in this guidance in order to qualify for the application of the Built to Rent policy.

⁶⁷ Covenant periods are expected to increase as the market matures.

10) providers do not charge up-front fees of any kind to tenants or prospective tenants, other than deposits and rent-in-advance.

- C To follow the Fast Track Route, Build to Rent schemes must deliver at least 35 per cent affordable housing, or 50 per cent where the development is on public sector land or industrial land appropriate for residential uses in accordance with Policy E7 Industrial intensification, co-location and substitution. The Mayor expects at least 30 per cent of DMR homes to be provided at an equivalent rent to London Living Rent with the remaining 70 per cent at a range of genuinely affordable rents.⁶⁸ Schemes must also meet all other requirements of Part C of Policy H5 Threshold approach to applications.
- D Where the requirements of C above are not met, schemes must follow the Viability Tested Route set out in Policy H5 Threshold approach to applications. Viability assessments on such schemes should take account of the differences between Build to Rent and Build for Sale development and be undertaken in line with the Affordable Housing and Viability SPG.
- E On schemes that propose a proportion of homes as Build to Rent and a proportion for sale to the market, Part A of this policy will only be suitable for the Build to Rent element. The scheme should be assessed as a whole, with affordable housing calculated as a proportion of total habitable rooms across the scheme.

⁶⁸ Boroughs may publish guidance setting out the proportion of DMR homes to be provided at different rental levels to benefit from the Fast Track Route. In setting local DMR requirements boroughs should have regard to the relationship between the level of discount required and the viability of achieving the relevant threshold level.

- 4.11.1 Boroughs should take a **positive approach to the Build to Rent sector** to enable it to better contribute to the delivery of new homes. Build to Rent developments can make a positive contribution to increasing housing supply and are beneficial in a number of ways. They can:
- attract investment into London's housing market that otherwise would not exist
 - accelerate delivery on individual sites as they are less prone to 'absorption constraints'⁶⁹ on build-out rates
 - deliver more readily across the housing market cycle as they are less impacted by house price downturns
 - provide a more consistent and at-scale demand for off-site manufacture
 - offer longer-term tenancies and more certainty over long-term availability
 - ensure a commitment to, and investment in, place-making through single ownership
 - provide better management standards and better quality homes than much of the mainstream private rented sector.
- 4.11.2 The **Build to Rent Policy** has been developed in recognition of the fact that Build to Rent operates a different model to Build for Sale. Build to Rent relies on income through rent over a number of years, rather than an upfront return on sales (this is often referred to as the 'distinct economics' of the sector). Because of this, in some circumstances Build to Rent may not be able to compete for land on an equal footing with speculative Build for Sale, as it may generate lower initial land values. Longer term, however, Build to Rent is an attractive offer to institutional investors. This policy provides a specific approach to the affordable housing offer, where the aim is to maintain the integrity of the Build to Rent development, with unified ownership and management of all the homes.
- 4.11.3 Where a developer is proposing a Build to Rent development which meets the definition set out in Part B, the affordable housing offer can be entirely **Discounted Market Rent (DMR)**, managed by the Build to Rent provider and delivered without grant, i.e. entirely through planning gain. As it is not a requirement to be a local authority or a Registered Provider to deliver or manage intermediate rented homes that are delivered without grant, these units can be owned and/or managed by Build to Rent landlords themselves. DMR units should

⁶⁹ The absorption rate is how long it will take a home to sell or be let for the identified price. The main constraint on absorption is the number of buyers or renters in the market willing (or able) to buy or rent the property at the identified price.

be fully integrated into the development with no differences between DMR and market units.

- 4.11.4 The Mayor's strong preference is for DMR homes to be let at **London Living Rent** level, to ensure city-wide consistency in approach. Unlike other DMR products, London Living Rent has an advantage in that it has a London-wide electoral mandate, can be consistently understood and applied across London, can earn the public's trust as being genuinely affordable, and will be backed by the GLA who will uprate it every year. DMR should be allocated according to intermediate eligibility criteria, which can include locally defined eligibility criteria. Where the borough has an intermediate or DMR waiting list they should agree with the applicant a process for providing priority access to the DMR units for those on the waiting list.
- 4.11.5 A threshold level of affordable housing has been introduced to provide an opportunity for Built to Rent schemes to take advantage of the Fast Track Route offered to Build for Sale schemes.
- 4.11.6 To follow the Fast Track Route schemes should provide the threshold level of DMR homes with at least 30 per cent let at London Living Rent levels. The remainder should be provided at a range of genuinely affordable discounts below market rent based on local need to be agreed with the borough and Mayor where relevant. The thresholds and required discounts to market rent will be reviewed and if necessary updated in 2021 through Supplementary Planning Guidance.
- 4.11.7 Proposals that do not provide 35 per cent affordable housing at the required discount to market rents, or 50 per cent on public sector land, or 50 per cent on industrial land appropriate for residential uses in accordance with [Policy E7 Industrial intensification, co-location and substitution](#) where the scheme would result in a net loss of industrial capacity, or that do not meet the criteria of Part C of [Policy H5 Threshold approach to applications](#) will be subject to the **Viability Tested Route** under Part E of [Policy H5 Threshold approach to applications](#).
- 4.11.8 In all cases the borough must ensure that the DMR units fully meet the definition of **intermediate housing** and are affordable to those eligible for intermediate rented housing in London, taking into account the Mayor's guidance on this issue.
- 4.11.9 Schemes that do not meet the Build to Rent definition set out in Part B and that do not provide a 15-year covenant or a clawback agreement in line with the Mayor's guidance will not qualify for the Build to Rent policy approach. These will be treated as **Build for Sale** developments for the purposes of determining affordable housing requirements.

- 4.11.10 Where justified in a Development Plan, boroughs can require a proportion of affordable housing as **low-cost rent** (social rent or London Affordable Rent see 4.6.4) on Build to Rent schemes in accordance with Part A of Policy H6 Affordable housing tenure. Low-cost rent homes must be managed by a registered provider. The low-cost rent affordable housing would contribute towards the relevant threshold required to meet the fast track route, as set out in paragraph 4.11.6. DMR is an intermediate product and is managed and allocated as such, therefore it is not appropriate to seek DMR at or close to social rent levels.
- 4.11.11 Schemes that qualify for the Fast Track Route will not need to provide a full viability assessment but will be subject the **15-year covenant and clawback** given the Build to Rent policy approach to affordable housing.⁷⁰
- 4.11.12 The majority of DMR products, where they meet the requirements of the Community Infrastructure Levy (CIL) regulations qualify for **mandatory CIL relief**.⁷¹
- 4.11.13 Further **support for Build to Rent** can be given by boroughs through:
- allocating specific sites for Build to Rent or requiring an element of Build to Rent on larger sites in order to accelerate build out of the site
 - encouraging long-term institutional investment, working with the GLA and partners
 - supporting institutional investment on public sector land, including exploring the use of joint ventures or deferred receipts.
- 4.11.14 Further guidance on Build to Rent schemes can be found in the Mayor's Affordable Housing and Viability SPG.

⁷⁰ A valuation of the market and affordable units must be included within the S106 agreement to enable the level of clawback to be calculated in the event that the covenant is broken.

⁷¹ The Community Infrastructure Levy (Amendment) Regulation 2015 – amendment to Part 6 – exemptions and reliefs

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Report for:	Planning Sub Committee Date: 07 November 2022	Item Number:	10
Title:	Update on major proposals		
Report Authorised by:	Robbie McNaugher		
Lead Officer:	John McRory		
Ward(s) affected: All	Report for Key/Non Key Decisions:		

1. Describe the issue under consideration

- 1.1 To advise the Planning Sub Committee of major proposals that are currently in the pipeline. These are divided into those that have recently been approved; those awaiting the issue of the decision notice following a committee resolution; applications that have been submitted and are awaiting determination; and proposals which are the being discussed at the pre-application stage. A list of current appeals is also included.

2. Recommendations

- 2.1 That the report be noted.

3. Background information

- 3.1 As part of the discussions with members in the development of the Planning Protocol 2014 it became clear that members wanted be better informed about proposals for major development. Member engagement in the planning process is encouraged and supported by the National Planning Policy Framework 2019 (NPPF). Haringey is proposing through the new protocol to achieve early member engagement at the pre-application stage through formal briefings on major schemes. The aim of the schedule attached to this report is to provide information



on major proposals so that members are better informed and can seek further information regarding the proposed development as necessary.

4. Local Government (Access to Information) Act 1985

- 4.1 Application details are available to view, print and download free of charge via the Haringey Council website: www.haringey.gov.uk. From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.
- 4.2 The Development Management Support Team can give further advice and can be contacted on 020 8489 5504, 9.00am-5.00pm Monday to Friday.

Site	Description	Timescales/comments	Case Officer	Manager
APPLICATIONS DETERMINED AWAITING 106 TO BE SIGNED				
109 Fortis Green, N2 HGY/2021/2151	Full planning application for the demolition of all existing structures and redevelopment of the site to provide 10 residential units (use class C3) comprising of 6 x residential flats and 4 mews houses and 131m2 flexible commercial space in ground/lower ground floor unit, basement car parking and other associated works.	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	Valerie Okeiyi	John McRory
573-575 Lordship Lane, N22 HGY/2022/0011	Demolition of existing buildings and redevelopment of site to provide 17 affordable residential units (Use Class C3) with landscaping and other associated works.	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	Chris Smith	John McRory
Adj to Florentia Clothing Village Site, 108 Vale Road, N4 HGY/2022/0044	Light industrial floorspace	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	James Mead	Matthew Gunning
15-19 Garman Road, N17 HGY/2022/0081	Demolition of the existing industrial buildings and redevelopment to provide a new building for manufacturing, warehouse or distribution with ancillary offices on ground, first and second floor frontage together with 10No. self-	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement.	Kwaku Bossman-Gyamera	Kevin Tohill

	contained design studio offices on the third floor. (Full Planning Application).	Negotiations on legal agreement are ongoing.		
29-33 The Hale, N17 HGY/2021/2304	Redevelopment of site including demolition of existing buildings to provide a part 7, part 24 storey building of purpose-built student accommodation [PBSA] (Sui Generis); with part commercial uses [retail] (Use Class E(a)) at ground and first floor; and associated access, landscaping works, cycle parking, and wind mitigation measures.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Negotiations on legal agreement are ongoing.	Phil Elliott	John McRory
Barbara Hucklesby Close, N22 HGY/2022/0859	Demolition of existing eight bungalows and the construction of a part one, two and three-storey building to provide supported living accommodation (Use Class C2) comprising 14 one-bedroom homes, a support office and communal garden. Provision of two wheelchair accessible parking bays, refuse/recycling and cycle stores and landscaping.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Negotiations on legal agreement are ongoing.	Gareth Prosser	Kevin Tohill
313-315 Roundway and 8-12 Church Lane, N17 HGY/2022/0967	Demolition of existing buildings and erection of a three to five storey building with new Class E floorspace at ground floor and residential C3 units with landscaping and associated works.	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	Chris Smith	Kevin Tohill
APPLICATIONS SUBMITTED TO BE DECIDED				
Broadwater Farm, Tottenham, N17	Demolition of the existing buildings and structures and erection of new mixed-use buildings including residential (Use Class C3),	Application deferred at planning committee on 10 th October 2022 after the mural on Tangmere	Chris Smith	John McRory

<p>HGY/2022/0823</p>	<p>commercial, business and service (Class E) and local community and learning (Class F) floorspace; energy centre (sui generis); together with landscaped public realm and amenity spaces; public realm and highways works; car-parking; cycle parking; refuse and recycling facilities; and other associated works. Site comprising: Tangmere and Northolt Blocks (including Stapleford North Wing): Energy Centre; Medical Centre: Enterprise Centre: and former Moselle school site, at Broadwater Farm Estate.</p>	<p>block was designated as Grade II listed shortly before the committee date. Submission of a listed building consent application expected soon.</p>		
<p>44 Hampstead Lane, N6 HGY/2022/2731</p>	<p>Demolition of existing dwellings and redevelopment to provide a care home (Use Class C2); associated basement; side / front lightwells with associated balustrades; subterranean and forecourt car parking; treatment room; detached substation; side access from Courtenay Avenue; removal 8 no. trees; amended boundary treatment; and associated works</p>	<p>Application submitted and under assessment. Amendments have sought to reduce scale and massing and better articulate the public benefits</p> <p>HGY/2021/2703 has been withdrawn and new number is HGY/2021/2703.</p>	<p>Samuel Uff</p>	<p>John McRory</p>
<p>Cross House, 7 Cross Lane, N8 HGY/2021/1909</p>	<p>Demolition of existing building; redevelopment to provide business (Class E(g)(iii)) use at the ground, first and second floors, residential (Class C3) use on the upper floors, within a building of six storeys plus basement, provision of 7 car parking spaces and refuse storage.</p>	<p>Application submitted and under assessment.</p>	<p>Valerie Okeiyi</p>	<p>John McRory</p>

<p>550 White Hart Lane, N17</p> <p>HGY/2022/0709</p>	<p>Application for Variation / removal of condition 8 (Deliveries in respect of unit deliveries in respect of units 3, 4 and 5a as well as 1, 5b and 6) condition 22 (No loading/unloading outside units 3,4,& 5) and condition 23 (No loading/unloading of deliveries) attached to planning permission reference HGY/2014/0055</p>	<p>Application submitted and under assessment.</p>	<p>Valerie Okeiyi</p>	<p>John McRory</p>
<p>550 White Hart Lane, N17</p> <p>HGY/2022/0708</p>	<p>Application for Variation / removal of condition 1 (in accordance with the plans) condition 4 (Restriction of Use Class) and condition 6 (Deliveries) attached to planning permission reference HGY/2020/0100</p>	<p>Application submitted and under assessment.</p>	<p>Valerie Okeiyi</p>	<p>John McRory</p>
<p>The Goods Yard and The Depot 36 & 44-52 White Hart Lane (and land to the rear), and 867-879 High Road, N17</p> <p>HGY/2022/0563</p>	<p>Full planning application for (i) the demolition of existing buildings and structures, site clearance and the redevelopment of the site for a residential-led, mixed-use development comprising residential units (C3); flexible commercial, business, community, retail and service uses (Class E); hard and soft landscaping; associated parking; and associated works. (ii) Change of use of No. 52 White Hart Lane from residential (C3) to a flexible retail (Class E) (iii) Change of use of No. 867-869 High Road to residential (C3) use.</p>	<p>Application under assessment.</p> <p>Revised version of scheme refused in November 2021 – which was appealed – appealed upheld (allowed)</p>	<p>Philip Elliott</p>	<p>John McRory</p>
<p>St Ann's Hospital, St Ann's Road, N15</p> <p>HGY/2022/1833</p>	<p>Circa 995 residential dwellings, commercial and community uses, retention of existing historic buildings, new public realm and green space, new routes into and through the site, and car and cycle parking.</p>	<p>Application submitted and under assessment.</p>	<p>Chris Smith</p>	<p>John McRory</p>

Hornsey Police Station, 94-98 Tottenham Lane, N8 HGY/2022/2116	Retention of existing Police Station building (Block A) with internal refurbishment, rear extensions and loft conversions to create 6 terrace houses and 4 flats. Erection of two buildings comprising of Block C along Glebe Road and Harold Road to create 8 flats and erection of Block B along Tottenham Lane and towards the rear of Tottenham Lane to create 7 flats and 4 mews houses including landscaping and other associated works	Application submitted and under assessment.	Valerie Okeiyi	John McRory
Woodridings Court, Crescent Road, N22 HGY/2022/2354	Redevelopment of the derelict undercroft car park behind Woodridings Court and provision of 33 new Council rent homes in four and five storey buildings. Provision of associated amenity space, cycle and refuse/recycling stores and wheelchair parking spaces, and enhancement of existing amenity space at the front of Woodridings Court, including new landscaping, refuse/recycling stores and play space.	Application submitted and under assessment.	Valerie Okeiyi	John McRory
Land Rear of 2-14 Kerswell Close, N15 HGY/2022/2250	Redevelopment of the car park, commercial unit and open space at the junction of Kerswell Close and St. Ann's Road and provision of 25 new Council rent homes and an Adult Care Hub in two, four and five-storey buildings. Provision of associated amenity space, including new landscaping, refuse/recycling stores and play space, cycle and refuse/recycling stores and wheelchair parking	Application submitted and under assessment.	Gareth Prosser	John McRory

	spaces, and enhancement of existing amenity space within the Kerswell Close Estate.			
Drapers Almshouses, Edmansons Close, Bruce Grove, N1	Redevelopment consisting of the amalgamation, extension and adaptation of the existing almshouses to provide family dwellings; and creation of additional units on site to consist of a mix of 1, 2 and 3 bedroom units.	Application submitted and under assessment.	Chris Smith	John McRory
Former Petrol Filling Station 76 Mayes road HGY/2022/2452	Section 73 Application to vary planning condition 2 (approved drawings/documents) associated with Consent (Planning Ref: HGY/2020/0795) and the updated condition following approval of a NMA (Planning Ref: HGY/2022/2344) to reflect a revised layout that includes 8 additional units, revised unit mix and tenure and reconfiguration of the commercial floorspace	Application submitted and under assessment.	Valerie Okeiyi	John McRory
Brunel Walk N15 5HQ	Redevelopment of Brunel Walk to provide 45 new Council rent homes in four buildings ranging from 3 to 4-storeys high including 39 apartments and 6 maisonettes. Provision of associated amenity and play space, cycle and refuse/recycling stores and 4 wheelchair parking spaces. Reconfiguration and enhancement of existing parking areas and outdoor communal areas and play spaces on the Turner Avenue Estate	Application submitted and under assessment.	Valerie Okeiyi	John McRory
IN PRE-APPLICATION DISCUSSIONS				

Civic Centre, Wood Green, High Road, N22	Refurbishment and extension to Haringey Civic Centre, to provide approximately 11,500sqm of commercial/ civic floorspace.	PPA in place with ongoing meetings	Samuel Uff	John McRory
679 Green Lanes, N8	Redevelopment of the site to comprise a 9 storey mixed use building with replacement commercial uses at ground floor level (Class E and Sui Generis) and 43 residential (C3) units on the upper floors.	Pre-application discussions to take place.	Samuel Uff	John McRory
Mecca Bingo, 707-725 Lordship Lane, N22	Student accommodation, homes for rent and commercial uses	Meeting in November	Chris Smith	John McRory
Berol Quarter Berol Yard, Ashley Road, N17	<p><u>Berol House</u></p> <p>Refurbishment of Berol House for a mix of flexible commercial and retail floorspace with additional floors on the roof. Comprising refurbishment of c. 3,800sqm of existing commercial floorspace and addition of c. 2,000sqm new additional accommodation at roof level. Targeting net zero.</p> <p><u>2 Berol Yard</u></p> <p>2 Berol Yard will comprise circa 200 new Build to Rent (BTR) homes with a mix of flexible retail and commercial space at ground floor level. The BTR accommodation will include 35% Discount Market Rent affordable housing. Tallest element 33 storeys.</p>	PPA in place with ongoing meetings – Applicant is looking to submit later in the autumn	Phil Elliott	John McRory

	And associated public realm and landscaping within the quarter.			
Sir Frederick Messer Estate, South Tottenham, N15 Council Housing led project	Two new blocks of up to 16 storeys including 99 units and new landscaping. Mix of social rent and market.	Initial pre-app meetings held. QRP held. Discussions ongoing.	Chris Smith	John McRory
Wat Tyler House, Boyton Road, N8 Council Housing led project	Council development of car park for block of 14 residential units and associated landscaping, play space, cycling and refuse stores.	Pre-application discussions ongoing discussions	TBC	John McRory
Reynardson Court, High Road, N17 Council Housing led project	Refurbishment and /or redevelopment of site for residential led scheme – 10 units.	Pre-application discussions taking place	TBC	John McRory
Arundel Court and Baldewyne Court, Lansdowne Road, N17 Council Housing led project	Redevelopment of land to the front of Arundel Court and Baldewyne Court, along Lansdowne Road including an existing car parking and pram shed area and the erection of 3, 3 storey buildings, (3 at Arundel Court and 2 at Baldewyne Court) to provide 30 new residential units with associated improvements to the surrounding area.	Pre-application discussions taking place	Kwaku Bossman-Gyamera	Kevin Tohill
Gourley Triangle, Seven Sisters Road, N15	Masterplan for site allocation SS4 for up to 350 units and approx. 12,000sqm of commercial space.	Pre-app meetings held. QRP review held. GLA meeting held.	Chris Smith	John McRory

		Discussions ongoing.		
Highgate School, North Road, N6	1. Dyne House & Island Site 2. Richards Music Centre (RMC) 3. Mallinson Sport Centre (MSC) 4. Science Block 5. Decant Facility 6. Farfield	Pre-application discussions ongoing.	Tania Skelli	John McRory
Jessica Buttons Factory Site, land at 9-36 Clarendon Road, N8	Redevelopment of the site to provide a part two, part six, part eight and part eleven storey scheme with basement comprising 51 residential units and approximately 550 sqm of commercial floorspace	Pre-application discussions ongoing.	Valerie Okeiyi	John McRory
25-27 Clarendon Road, N22	Residential-led redevelopment of site, including demolition of existing buildings.	Pre-application discussions ongoing.	Valerie Okeiyi	John McRory
Selby Centre, Selby Road, N17	Replacement community centre, housing including council housing with improved sports facilities and connectivity.	Talks ongoing with Officers and Enfield Council.	Phil Elliott	John McRory
Ashley House and Cannon Factory, Ashley Road, N17	S73 to amend tenure mix of buildings to enable market housing to cross subsidise affordable due to funding challenges.	Negotiating PPA – Submission likely in the Autumn	Phil Elliott	John McRory
Warehouse living proposals: Corner of Eade Road and Seven Sisters Road, N16	Warehouse living and commercial uses on corner of Seven Sisters and Eade Roads	PPA signed	Phil Elliott	John McRory

Warehouse living proposals: Overbury Road and Eade Road, Arena Design Centre, Haringey Warehouse District, N16	Warehouse Living and other proposals across 2 sites.	Draft framework presented for Overbury/Eade Road Sites. Discussions continuing.	Chris Smith	John McRory
Warehouse living proposal – Omega Works, Hermitage Road, Warehouse District, N4	Demolition with façade retention and erection of buildings of 4 to 9 storeys with part basement to provide a mix of commercial spaces, warehouse living and C3 residential.	Pre-application discussions ongoing.	Chris Smith	John McRory
142-147 Station Road, N22	Demolition of existing buildings on the site and erection of buildings containing 28 one-bedroom modular homes, office, and the re-provision of existing café. Associated hard and soft landscaping works.	Pre-application discussions ongoing	TBC	John McRory
Osborne Grove Nursing Home/ Stroud Green Clinic 14-16 Upper Tollington Park N4	Demolition of a 32 bed respite home and clinic building. Erection of a new 70 bed care home and 10 studio rooms for semi-independent living, managed by the care home. Separate independent residential component comprising a mix of twenty self-contained 1 and 2 bedroom flats for older adults, planned on Happi principles. Day Centre for use of residents and the wider community as part of a facility to promote ageing wellness.	Pre-app advice issued Discussions ongoing	Tania Skelli	John McRory
The Braemar Avenue Baptist Church,	Demolition of dilapidated church hall, to allow construction of part 3, part 4 storey building	Pre-application discussions ongoing.	Valerie Okeiyi	John McRory

Braemar Avenue, N22	(over basement) comprising new church hall extensions (204m2) and 15 flats. Internal and minor external alterations to adjacent listed church, together with landscaping improvements.			
Pure Gym, Hillfield Park, N10	Demolition of existing building and redevelopment with gym and residential units on upper floors	Pre-app advice note issued.	Valerie Okeiyi	John McRory
(Part Site Allocation SA49) Lynton Road, N8	Demolition/Part Demolition of existing commercial buildings and mixed use redevelopment to provide 75 apartments and retained office space.	Pre-app discussions ongoing.	TBC	John McRory
1 Farrer Mews, N8	Proposed development to Farrer Mews to replace existing residential, garages & Car workshop into (9 houses & 6 flats).	Second pre-application meeting arranged following revised scheme	Tania Skelli	John McRory
356-358 St. Ann's Road & 40 Brampton Road, N15	Demolition of two buildings on corner of St. Ann's Rd and of coach house and end of terrace home on Brampton Rd and replacement with increased commercial and 9 self-contained homes.	Pre-application meeting held 30/07. No discussions since	Phil Elliott	John McRory
157-159 Hornsey Park Road, N8	The scheme is for the erection of 2 buildings ranging from 3 to 6 storeys in height and a detached 2-storey house, to provide for 33 residential units and 154m2 commercial floorspace, together with associated landscaping with delivery of a new public	Pre-application discussions ongoing.	Valerie Okeiyi	John McRory

	pedestrian route, car and cycle parking, and refuse and recycling facilities.			
35-37 Queens Avenue, N10	Reconfiguration of the existing internal layout and rear extension to create 16 self-contained flats and redevelopment of existing garages in rear garden to provide 4 additional flats.	Pre-app advice issued.	Valerie Okeiyi	John McRory
Former Clarendon Gasworks, Mary Neuner Road, N8	Reserved Matters Phase 4 (H blocks).	Reserved matter discussions taking place	Valerie Okeiyi	John McRory
Parma House Clarendon Road (Off Coburg Road), N22	14 units to the rear of block B that was granted under the Chocolate Factory development (HGY/2017/3020).	Pre-app advice issued.	Valerie Okeiyi	John McRory
Ashley House, 235-239 High Rd, N22	Demolition and rebuild as 20 storey tower for 90 units, with office space.	Pre-app meetings held and advice note issued.	Samuel Uff	John McRory
36-38 Turnpike Lane, N8	Erection of 9 residential flats and commercial space at ground floor. (Major as over 1000 square metres). (The Demolition of the existing structure and the erection of four-storey building with part commercial/residential on the ground floor and self-contained flats on the upper floors.)	Pre-application report issued.	Tania Skelli	John McRory
Wood Green Corner Masterplan	Masterplan for Wood Green Corner, as defined in draft Wood Green AAP as WG SA2 (Green Ridings House), SA3 (Wood Green Bus Garage) and SA4 (Station Road Offices).	Pre-app advice issued. Discussions to continue.	Samuel Uff	John McRory

13 Bedford Road, N22	Demolition of existing building and the erection of a part five part six storey building to provide 257 sq. m retail space on the ground floor with 18 flats with associated amenity space in the upper floors together with cycle and refuse storage at ground floor level.	Pre-app advice note to be issued.	Valerie Okeiyi	John McRory
Land to the rear of 7-8 Bruce Grove, N17	Redevelopment of the site to provide new residential accommodation	Pre-app advice note to be issued.	Valerie Okeiyi	John McRory
139 - 143 Crouch Hill, N8	Demolition of existing buildings and the erection of a five storey building over basement with a setback sixth floor to provide 31 flats and a sustainable hydroponic urban farm with small shop. Associated landscaping, refuse and cycle storage.	Pre-app advice note issued 23 March 2020 on a scheme for demolition and redevelopment of mixed use scheme with 9 residential units and retail at ground floor. Subsequent meeting for this larger scheme (PRE/2020/0247). The applicant has held public consultation event but no further preapp but is now requesting a follow up pre-application to be submitted.	Samuel Uff	John McRory
Major Application Appeals				
Goods Yard / Depot White Hart Lane	Proposal to amend previous proposals for Goods Yard and 867- 879 High Road Part of High Road West Masterplan Area.	Application refused, appeal submitted and allowed		Robbie McNaugher & John McRory

